



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (November 13, 2013 Meeting)

Docket No. / Project Title: DP-13-26 (Columbus East High School)
Staff: Melissa Begley
Applicant: Bartholomew Consolidated School Corporation
Property Size: 39.99 Acres
Current Zoning: P (Public/Semi-Public Facilities)
Location: 230 South Marr Road, in the City of Columbus

Background Summary:

The applicant has indicated that the proposed site development plan major modification is for the purpose of constructing an 8,320 square foot addition to the north side of the building.

The applicant is proposing the following waiver(s) and/or modification(s) from the zoning ordinance development standards that would typically apply to this development:

1. A modification from Zoning Ordinance Section 7.1 (Table 7.1) to reduce the amount of required on-premise parking spaces.
2. A modification from Zoning Ordinance Section 8.1(C)(1) Area #1 – Parking Lot Public Street Frontage, to alter the location of landscaping being installed from a previously approved site plan.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application:

1. Does the requested modification for on-premise parking meet the criteria established by the Zoning Ordinance?
2. Does the requested modification for landscaping meet the criteria established by the Zoning Ordinance?
3. Is the proposal for the building addition appropriate for the surrounding context?

Plan Commission Decision Criteria:

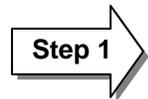
The Columbus Zoning Ordinance requires that the Plan Commission consider (1) compliance with the applicable development standards established by the Zoning Ordinance and (2) the general standards listed below in the review of site development plans (Section 12.8(E)).

1. The proposed development will be consistent with the comprehensive plan.
2. The proposed development will not be detrimental to or endanger the public health, safety, convenience, or general welfare.
3. The proposed development will not be injurious to the use and enjoyment of the surrounding property.
4. The proposed development will not impede the efficient, orderly, and normal development of the surrounding property.

5. The proposed development provides adequate access, utilities, landscaping, buffering, and other improvements.
6. The proposed development provides pedestrian and vehicle ingress, egress, and circulation in a manner that maintains adequate public safety and efficient movement.

The Plan Commission may waive or modify development requirements of the Zoning Ordinance based on findings by the Commission that the altered requirements will better serve (a) the intent of that development requirement, (b) the intent of the zoning district, and/or (c) the general standards listed above.

Plan Commission Process, Options & Preliminary Staff Recommendation:



Development Standards Waivers & Modifications:

The initial step in the approval process is for the Plan Commission to determine if any requested development standards waivers and/or modifications can be supported based on the decision criteria provided by the Zoning Ordinance. The waiver or modification may be approved if one or more of the criteria have been met. A separate motion with specific findings is recommended for each requested waiver and/or modification.

Waiver / Modification #1: A modification from Zoning Ordinance Section 7.1 (Table 7.1) to reduce the amount of on premise parking spaces.

Preliminary Staff Recommendation: Approval, all criteria have been met.

Criteria #1: The requested waiver or modification will better serve the intent of that development requirement. The Zoning Ordinance indicates the intent of the parking standards as follows: To prevent congestion in the public streets by requiring all uses to provide adequate off-street parking, stacking and loading spaces; to determine minimum parking space requirements for individual uses; and to accommodate a variety of means of personal transportation.

Preliminary Staff Findings: The site currently has provided 724 spaces, which is 776 fewer spaces than required. The applicant has indicated that the gymnasium is only maximized a couple times of year, such as graduation ceremonies. Adequate off street parking is provided for the typical school day. *This criterion has been met.*

User Notes: _____

Criteria #2: The requested waiver or modification will better serve the intent of the zoning district in which the property is located. The Zoning Ordinance indicates the intent of the P (Public / Semi-Public Facilities) zoning district as follows: To provide locations for large-scale public facilities, worship facilities, and concentrations of other public institutions. This district should be applied in those locations where a single facility or combination of facilities forms an institutional center. This district is further intended to provide a set of setbacks and other requirements that respond to the unique scale and other considerations common to these types of uses. This district should be applied to reduce land use conflicts and ensure that public and semi-public facilities are appropriately integrated into the community.

Preliminary Staff Findings: With the proximity of Clifty Park across the street, which is also zoned P. Together they form an institutional center where the sharing of resources is appropriate. The park can serve as overflow parking for the high school during peak demand. *This criterion has been met.*

User Notes: _____

Criteria #3: The requested waiver or modification will better serve the general standards listed by Zoning Ordinance Section 12.8(E)(2) and above.

1. *Preliminary Staff Findings:* The school and the park have an integrated circulation plan to move pedestrians safely from the park to the school. The Comprehensive Plan requires new developments to construct sufficient but not excessive parking for their demand. More specifically it notes that sizing parking lots to meet peak demand can waste land. Further, the Comprehensive plan encourages flexibility in meeting parking demand, which can be accomplished with the sharing of parking with Clifty Park during peak parking demand. *This criterion has been met.*

User Notes: _____

Waiver / Modification #2: A modification from Zoning Ordinance Section 8.1(C)(1) Area #1 – Parking Lot Public Street Frontage, to alter the location of landscaping being installed from a previously approved site plan.

Preliminary Staff Recommendation: Approval, criteria #2 has been met.

Criteria #1: The requested waiver or modification will better serve the intent of that development requirement. The Zoning Ordinance indicates the intent of the landscaping standards as follows: to protect the character of the surrounding area, stabilize soils, control wind-blown dust and debris, provide a variety of living plant material around buildings, shield adjacent properties and streets from light and glare, break up large expanses of paved areas, and to reduce energy consumption by using plant material for shade and windbreaks.

Preliminary Staff Findings: The landscape plan that was approved in 2009 exceeded the minimum landscape requirements, however not all of the landscaping was installed in the same location as was shown on the plan. The intent of the parking lot landscaping is to screen the buses from Marr Road. The plants were instead planted in other areas of the site resulting in no net loss of plants, however it does not better serve the intent of the development requirement. *This criterion has not been met.*

User Notes: _____

Criteria #2: The requested waiver or modification will better serve the intent of the zoning district in which the property is located. The Zoning Ordinance indicates the intent of the P (Public / Semi-Public Facilities) zoning district as follows: To provide locations for large-scale public facilities, worship facilities, and concentrations of other public institutions. This district should be applied in those locations where a single facility or combination of facilities forms an institutional center. This district is further intended to provide a set of setbacks and other requirements that respond to the unique scale and other considerations common to these types of uses. This district should be applied to reduce land use conflicts and ensure that public and semi-public facilities are appropriately integrated into the community.

Preliminary Staff Findings: The bus parking is being effectively screened with shrubs and grasses in quantities that far exceed the minimum landscape requirements. The bus parking area is setback from the road an average of 140 feet and Clifty Park is directly across the street. The landscape change does not create any land use conflicts and is integrated into the community. *This criterion has been met.*

User Notes: _____

Criteria #3: The requested waiver or modification will better serve the general standards listed by Zoning Ordinance Section 12.8(E)(2) and above.

Preliminary Staff Findings: The quantity of landscaping shown on the original site plan is not being reduced, only provided in a different location than originally proposed and provides adequate landscaping on the site. It does not better serve the general standards listed by the Zoning Ordinance. *This criterion has not been met.*

User Notes: _____



Conditions:

The Plan Commission should determine through discussion if any conditions of approval are appropriate for this request. Conditions are situations that need to be resolved through the action of the applicant prior to, or as part of, the proposed development. Any conditions should be clearly based on the Plan Commission Decision Criteria listed above.

Preliminary Staff Recommendation: The staff is preliminarily recommending the following conditions of approval: **None**

User Notes: _____



Commitments:

The Plan Commission should determine through discussion if any commitments of the applicant are appropriate and/or needed for this request. Commitments are long-term agreements that, together with the Zoning Ordinance, govern the use of the property. Any commitments should be clearly based on the Plan Commission Decision Criteria listed above.

Preliminary Staff Recommendation: The staff is preliminarily recommending the following commitments: **None**

User Notes: _____



Approval, Denial or Continuance:

In reviewing a request for site development plan approval the Plan Commission may (1) approve the application, (2) deny the application, or (3) continue the review to a future Plan Commission meeting. The Plan Commission should make, second, and vote on a motion for the approval, denial, or continuance of the request. Any motion should include reasons supporting that motion that directly reference the Plan Commission Decision Criteria listed above. Any motion for approval should (1) note any approved waivers and/or modifications and (2) specifically list any conditions and/or commitments being made as part of the approval and the reasons for those conditions or commitments based on the Plan Commission Decision Criteria listed above.

Preliminary Staff Recommendation: Approval, including the parking lot and landscaping modifications.

User Notes: _____

Current Property Information:	
Land Use:	Columbus East High School
Site Features:	The property includes a three story school building, parking lots, tennis courts, mature trees along Marr Road and an athletic practice area
Flood Hazards:	The majority of the property is located in the 100 year flood fringe with a smaller portion of the property being located in the 500 year flood fringe.
Special Circumstances: (Airport Hazard Area, Wellfield Protection Area, etc.)	None
Vehicle Access:	Marr Road (Minor Arterial, Suburban, Residential) Indiana Avenue (Collector, Suburban, Residential)

Surrounding Zoning and Land Use:		
	Zoning:	Land Use:
North:	RS3 (Residential Single Family 3)	Columbus Christian Church and School
South:	P (Public/Semi-Public Facilities)	City owned detention ponds
East:	P (Public/Semi-Public Facilities)	Clifty Park

West:	RS3 (Residential Single Family 3) RS4 (Residential Single Family 4)	Hughes Subdivision (Single Family Residential) Meadow Brook Subdivision (Single Family Residential)
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Interdepartmental Review:	
City Engineering:	The proposed expansion will not significantly impact access or drainage on the site. Dandy bags should be installed and maintained in all inlets for duration of construction activity.
City Utilities:	No comments received.
Fire Department:	We do not have any issues with the site Development Plan for Columbus East High School, based on the plans we received.

History of this Location:

The relevant history of this property includes the following:

1. A 62,678 square foot building addition with associated parking, exterior lighting and landscaping was approved on September 2, 2009 (DP-09-10).
2. An administrative subdivision was approved on December 10, 2009 and included the dedication of right-of-way along Indiana Avenue and Marr Road (AD-09-39).

Comprehensive Plan Consideration(s):

The Future Land Use Map indicates the future use of this property as residential.

The following Comprehensive Plan goal(s) and/or policy(ies) apply to this application:

1. **POLICY A-2-9:** Preserve and enhance the character of neighborhoods.
2. **POLICY F-5-1:** Require new developments to construct sufficient but not excessive parking for their demand. *When businesses, apartments, and other uses do not have sufficient parking, the customer and tenant base is affected. In addition, the surrounding neighborhoods may be disrupted by on-street parking by customers of businesses with inadequate parking. At the same time, parking lots use large amounts of land, the pavement surface causes increased stormwater runoff and "heat islands," and expanses of asphalt are generally unattractive. Sizing parking lots to meet peak demand can waste land.*
3. **POLICY F-5-2:** Encourage flexibility in meeting parking demand (shared parking, grassed overflow areas for peak demand and similar practices). *The city should explore ways to reduce the amount of land consumed by parking lots. These might include smaller parking spaces for compact cars, shared parking between uses with different areas, and temporary overflow parking areas.*
4. **GOAL I-2:** Provide high-quality public facilities as economically as possible, while preserving community standards for design.
5. **POLICY S-L-4-1:** Make extensive use of street trees throughout the community, requiring them in new development.
6. **POLICY S-L-4-2:** Encourage use of landscaping to improve the appearance of parking areas, requiring it in new large parking areas.

This property is located in the East Columbus character area.

Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. The parking space standard for a school (grades 9-12) is based off of the seating capacity of the largest assembly area. One parking space is required for every 3 persons. The gymnasium has a capacity of 4,500 persons, and would require a total of 1,500 parking spaces. The site currently has 741 parking spaces, 759 fewer spaces than required. The applicant has indicated that the gymnasium is only maximized a couple times of year, such as during graduation ceremonies. With the construction of the new addition, 17 parking spaces will be removed for a total of 724 parking spaces on-site. 23 handicap accessible parking spaces are provided on site, 15 are required.
2. The required front yard setback along a collector street (Indiana Avenue) is 35 feet. The new building addition will be 331.87 feet from Indiana Avenue, which is approximately 66 feet closer than the structure without the addition.
3. Lot Interior landscaping (Area #4) is required around the new addition. 78 points of landscaping is required and the applicant is proposing 3 shade trees and 6 shrubs for a total of 120 points.
4. On August 30, 2012 a final landscape inspection was performed for the 2009 building addition. It was noted that there were some areas where the landscaping had not been installed. To date, these items have not been resolved. The approved landscape plan included a combination of new plantings and plants that were relocated from areas being impacted by the new construction. Overall, the landscape plan exceeded the requirement of the Zoning Ordinance. The area along the bus pick-up area was changed from the previously approved plan and due to that change does not comply with the Zoning Ordinance. For Parking Lot Public Street Frontage, the ordinance requires 1 tree and 7.5 shrubs for every 50 feet of frontage. There is a total of 520 linear feet of frontage. This requires 10 trees and 75 shrubs. The original landscape plan showed 11 trees and 208 shrubs. The shrubs were planted but the 11 trees were not planted at this location and were instead planted farther north on the property between the north parking lot and Marr Road.
5. The property, including the building addition is located in the 100 year flood fringe. Buildings that are located in this zone are required to bring the building into compliance by either (1) elevating the building or (2) floodproofing the building. The petitioners have provided a floodproofing certificate with this application.

RECEIVED
OCT 14 2013
ASK

Columbus – Bartholomew County Planning Department

Site Development Plan Application

Planning Department Use Only:

Jurisdiction: Columbus Bartholomew County Joint District
Docket No.: DP-13-26

Site Development Plan Application:

Application Type: Initial Site Development Plan Minor Modification Major Modification

Project Title / Facility Name: Columbus East High School

Type of Activity:

New Structure Change of Use Expansion of an Existing Structure and/or Use
 Site Feature Modification (Landscaping, Parking, Etc.)
 New Telecommunications Facility Temporary Use: from _____ to _____
(start date) (end date)

Total Number of Signs Requested _____ (please attach a separate worksheet for each sign)

Applicant Information (the person or entity that will own and/or execute what is proposed):

Name: Bartholomew Consolidated School Corporation
Address: 1200 Central Avenue Columbus IN 47201
(number) (street) (city) (state) (zip)
Phone No.: 812-376-4234 Fax No.: 812-376-4486 E-mail Address: bcscupt@bcsc.k12.in.us

Property Owner Information (the "owner" does not include tenants or contract buyers):

Name: Bartholomew Consolidated School Corporation
Address: 1200 Central Avenue Columbus IN 47201
(number) (street) (city) (state) (zip)
Phone No.: 812-376-4234 Fax No.: 812-376-4486 E-mail Address: bcscsupt@bcsc.k12.in.us

Tenant / Lessee Information (if applicable):

Name: _____
Address: _____
(number) (street) (city) (state) (zip)
Phone No.: _____ Fax No.: _____ E-mail Address: _____

Notification Information (list the person to whom all correspondence regarding this application should be directed):

Name: David Lach, PE, Cripe Architects + Engineers

Address: 3939 Priority Way S Drive, Suite 400 Indianapolis IN 46240
(number) (street) (city) (state) (zip)

Phone No.: 317-706-6361 Fax No.: 317-706-6450 E-mail Address: dlach@cripe.biz

How would you prefer to receive information? (please check one): E-mail Phone Fax Mail

Property Information:

Property Size: 39.63 acres or _____ square feet

Zoning: "P"

Address: 230 South Marr Road Columbus IN 47201
(number) (street) (city) (state) (zip)

or General Location (if no address has been assigned provide a street corner, subdivision lot number, etc):

Use & Structure Information (if applicable):

Proposed Building Area: 8320 square feet

Current Use: High School Proposed Use (if different): _____

For multiple use buildings, please indicate the square footage of each use (attach an additional sheet if necessary):

Use: _____ square feet: _____

Supporting Information (please note the following which must be provided with the application):

- 5 initial copies of a site development plan (required based on the type of ZCC requested – see attached checklist). The site development plan must also show the location of any types of freestanding signs proposed (including the sign location, the proposed sign setback from all rights-of-way, the landscaping at the base of the proposed sign, and all sight visibility triangles).
- A completed worksheet for any proposed waiver or modification of the development standards mandated by the Zoning Ordinance (see attached form).
- A completed sign worksheet for each sign proposed (see attached form).
- A dimensioned drawing showing the size of each sign face and indicating each sign's proposed location (either on the face of a structure, or elsewhere on the property).

Applicant's Signature / Acknowledgement:

The information included in and with this application is completely true and correct to the best of my knowledge and belief.

I understand that 20 copies of a revised Site Development Plan will be required for distribution to the Plan Commission.

(Applicant's Signature)

(Date)

Property Owner's Signature (the "owner" does not include tenants or contract buyers):

I authorize the filing of this application and will allow the Planning Department staff to enter this property for the purpose of analyzing this request. Further, I will allow a public notice sign to be placed and remain on the property until the processing of the request is complete.

Bartholomew Consolidate School Corp.
(Owner's Signature)

(Date)

by Steve Forster
(Owner's Signature)
STEVE FORSTER

10/11/13
(Date)

OWNER:

**BARTHOLOMEW
CONSOLIDATED SCHOOL
CORPORATION**
1200 CENTRAL AVENUE
COLUMBUS, IN

ENGINEER:

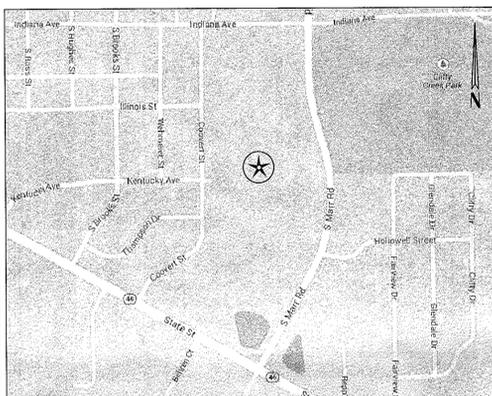


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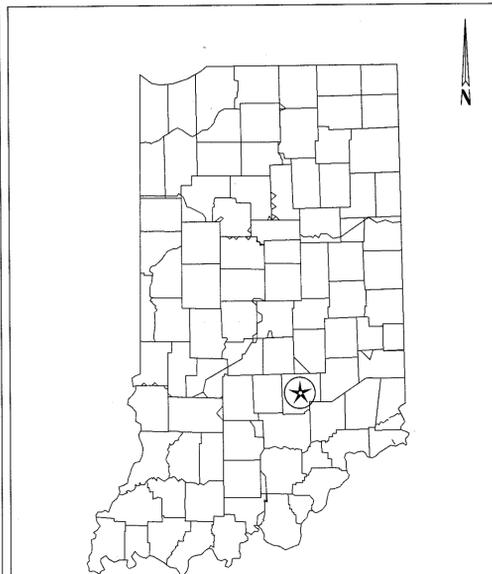
3939 PRIORITY WAY SOUTH DRIVE, SUITE 400
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464

LOCATION MAP:



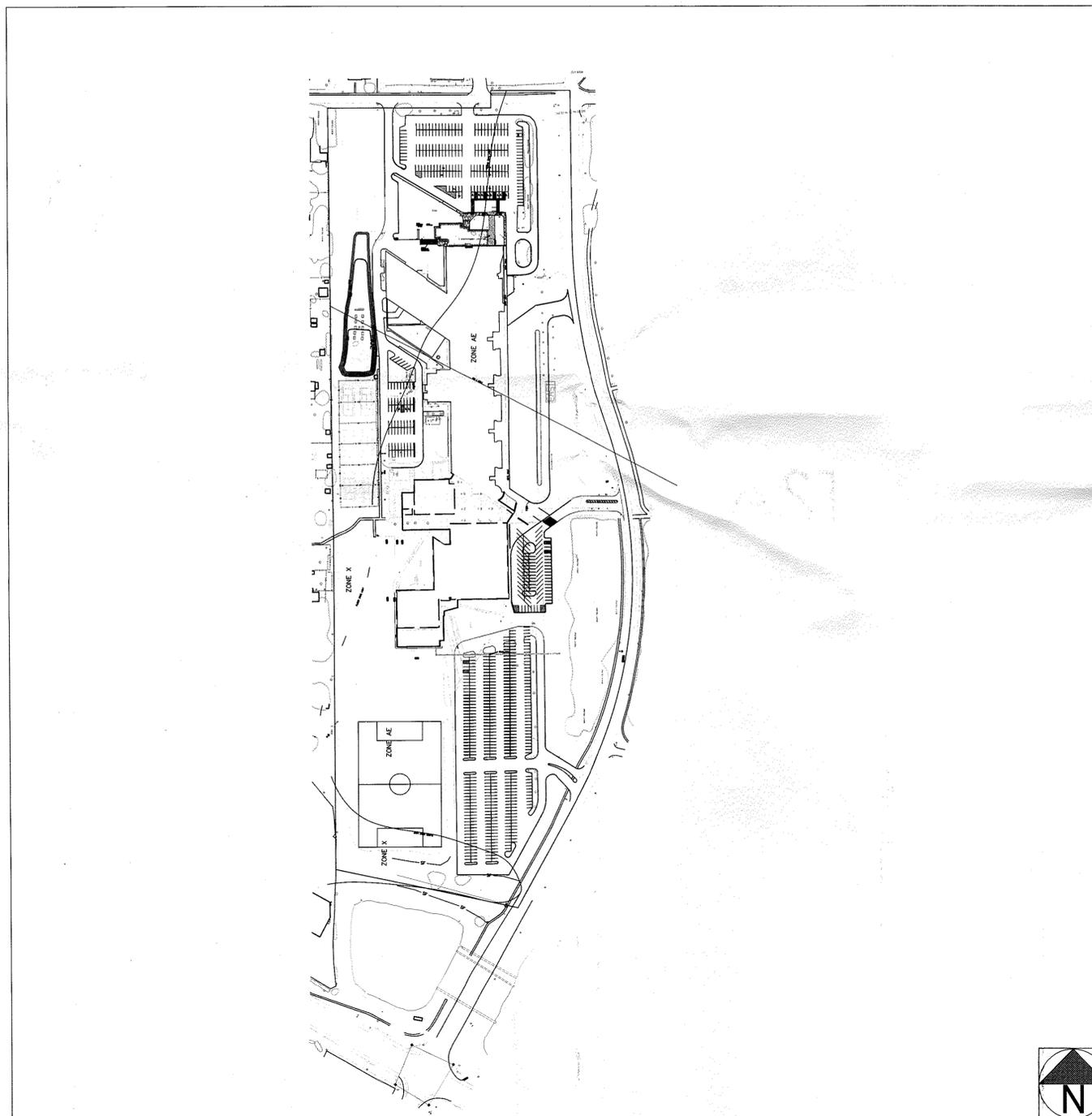
★ = SITE

VICINITY MAP:



★ = SITE

CONSTRUCTION PLANS FOR COLUMBUS EAST HIGH SCHOOL



PROJECT DATA:

PROJECT ADDRESS 230 SOUTH MARR ROAD, COLUMBUS, IN
PROJECT AREA 0.80 ac
BUILDING AREA 8,320sf

SHEET INDEX:

SHEET	DESCRIPTION
CS	COVER SHEET
C101	DEMOLITION PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN
C301	GRADING PLAN
C401	STORMWATER POLLUTION PREVENTION PLAN
C402	STORMWATER POLLUTION PREVENTION DETAIL
C403	STORMWATER POLLUTION PREVENTION PLAN
C501	UTILITY PLAN
C502	SITE & UTILITY DETAILS
C503	SITE & UTILITY DETAILS
L101	LANDSCAPE PLAN

AGENCY & UTILITY INFO:

AGENCY/UTILITY	PHONE NUMBER
CITY OF COLUMBUS PLANNING DEPARTMENT	812-376-2550
CITY OF COLUMBUS ENGINEERING DEPARTMENT	812-376-2540
COLUMBUS FIRE DEPARTMENT	812-376-2679
ELECTRIC - DUKE ENERGY	812-375-2004
GAS - VECTREN	812-948-4852
TELEPHONE - SMITHVILLE	812-375-6770
WATER/SEWER - COLUMBUS UTILITIES	812-372-8861

CAUTION

LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CRIFE TEAM:

PROJECT MANAGER	DAVID LACH, PE, LEED BD+C	317-706-6361
PROJECT ENGINEER	JENNIFER LASCH, PE, LEED BD+C	317-706-6346
PROJECT DESIGNER	BRENT WHITE, EI, SIT	317-706-6308
QUALITY ASSURANCE	CHRIS WISEMAN, PE	317-706-6429



BARTHOLOMEW CONSOLIDATED
SCHOOL CORPORATION
2013 FACILITY IMPROVEMENTS

8 CSO Architects
ARCHITECTURE - INTERIOR DESIGN
8831 Keystone Crossing, Indianapolis, IN 46240
Main 317.648.7800 - Fax 317.574.0937 - csotac.net
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ARCHITECTURE - INTERIOR DESIGN
INDUSTRIAL DESIGN
LANDSCAPE ARCHITECTURE
PLANNING
GENERAL CONTRACTOR
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PROJECT: BCSC 2013 FACILITY IMPROVEMENTS
COLUMBUS EAST H.S.
AUDITORIUM UPGRADES
AND RENOVATIONS
230 South Marr Road, Columbus, IN

SCOPE DRAWINGS:
These drawings are to be used in conjunction with the project to provide a general overview of the project. The drawings do not constitute a contract and are not intended to be used for any other purpose without the written consent of the architect.

REVISIONS:
1. 10/31/2013 AGENCY COMMENTS

ISSUE DATE | DRAWN BY | CHECKED BY
10-14-2013 | B.WHITE | D. LACH

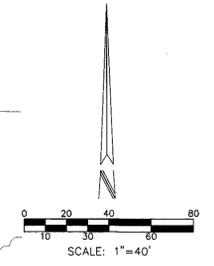
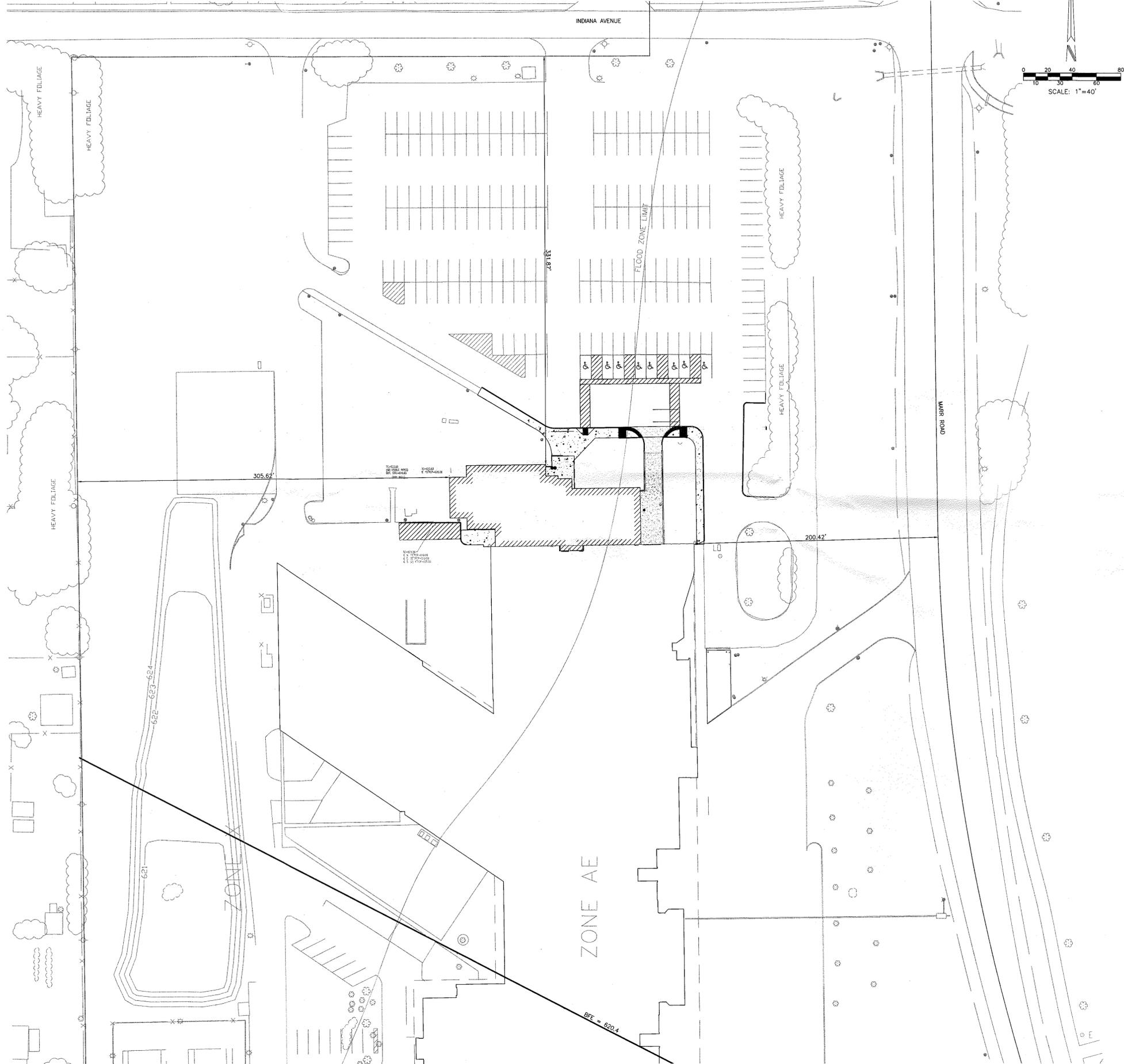
DRAWING TITLE:
COVER SHEET

CERTIFIED BY:
DAVID A. LACH
REGISTERED
PE 10000126
STATE OF
INDIANA
PROFESSIONAL ENGINEER
Date 10-31-13

DRAWING NUMBER
CS

PROJECT NUMBER
13040820000





PAVEMENT & UTILITY PLAN LEGEND



GENERAL NOTES AND SPECIFICATIONS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH RESPECTIVE UTILITY COMPANIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT; FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK.
5. ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
6. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
7. EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
8. IT IS ESSENTIAL THAT THE WORK TO BE COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY TO CERTAIN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY OF COLUMBUS THAT CONSTRUCTION WAS COMPLETED IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.
9. SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
10. RM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
11. WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
12. WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
13. REFER TO SHEET C502 FOR BACKFILL REQUIREMENTS FOR ALL UTILITIES.
14. SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
15. SEE SHEET C502 FOR DETAILS REFERENCED.
16. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

PARKING SUMMARY

EXISTING REGULAR SPACES	718
EXISTING ADA SPACES	23
TOTAL SPACES	741

PROPOSED REGULAR SPACES LOST	17
TOTAL PROPOSED SPACES	724

REQUIRED PARKING:
1 SPACE PER 3 SEATS 1500
IN LARGEST ASSEMBLY AREA

STREET CLASSIFICATIONS

- INDIANA AVENUE - COLLECTOR, SUBURBAN, RESIDENTIAL
65' FUTURE RIGHT-OF-WAY
- MARR ROAD - MINOR ARTERIAL, SUBURBAN, RESIDENTIAL
90' FUTURE RIGHT-OF-WAY

BCSC
BARTHOLOMEW CONSOLIDATED
SCHOOL CORPORATION
2013 FACILITY IMPROVEMENTS

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REGISTERED PROFESSIONAL ENGINEER
REGISTERED ARCHITECT
REGISTERED LANDSCAPE ARCHITECT
REGISTERED SURVEYOR
REGISTERED PLUMBER
REGISTERED MECHANICAL ENGINEER
REGISTERED ELECTRICAL ENGINEER
REGISTERED CIVIL ENGINEER
REGISTERED CHEMICAL ENGINEER
REGISTERED METALLURGICAL ENGINEER
REGISTERED INDUSTRIAL ENGINEER
REGISTERED AERONAUTICAL ENGINEER
REGISTERED AGRICULTURAL ENGINEER
REGISTERED BIOMEDICAL ENGINEER
REGISTERED BIOMATERIALS ENGINEER
REGISTERED BIOMECHANICAL ENGINEER
REGISTERED BIOPHARMACEUTICAL ENGINEER
REGISTERED BIOTECHNOLOGY ENGINEER
REGISTERED BIOMEDICAL DEVICES ENGINEER
REGISTERED BIOMEDICAL ELECTRONICS ENGINEER
REGISTERED BIOMEDICAL MANUFACTURING ENGINEER
REGISTERED BIOMEDICAL MATERIALS ENGINEER
REGISTERED BIOMEDICAL MECHANICAL ENGINEER
REGISTERED BIOMEDICAL METALLURGICAL ENGINEER
REGISTERED BIOMEDICAL POLYMER ENGINEER
REGISTERED BIOMEDICAL TISSUE ENGINEERING

PROJECT: BCSC 2013 FACILITY IMPROVEMENTS
COLUMBUS EAST H.S.
AUDITORIUM UPGRADES
AND RENOVATIONS
230 South Marr Road, Columbus, IN

SCOPE DRAWINGS:
These drawings are prepared for the project and are not to be used for any other project without the written consent of the engineer of record. The engineer of record is not responsible for the accuracy of the information provided in these drawings and is not responsible for the accuracy of the information provided in these drawings. The engineer of record is not responsible for the accuracy of the information provided in these drawings. The engineer of record is not responsible for the accuracy of the information provided in these drawings.

REVISIONS:
1. 10/31/2013 AGENCY COMMENTS

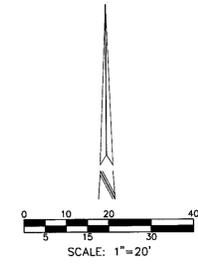
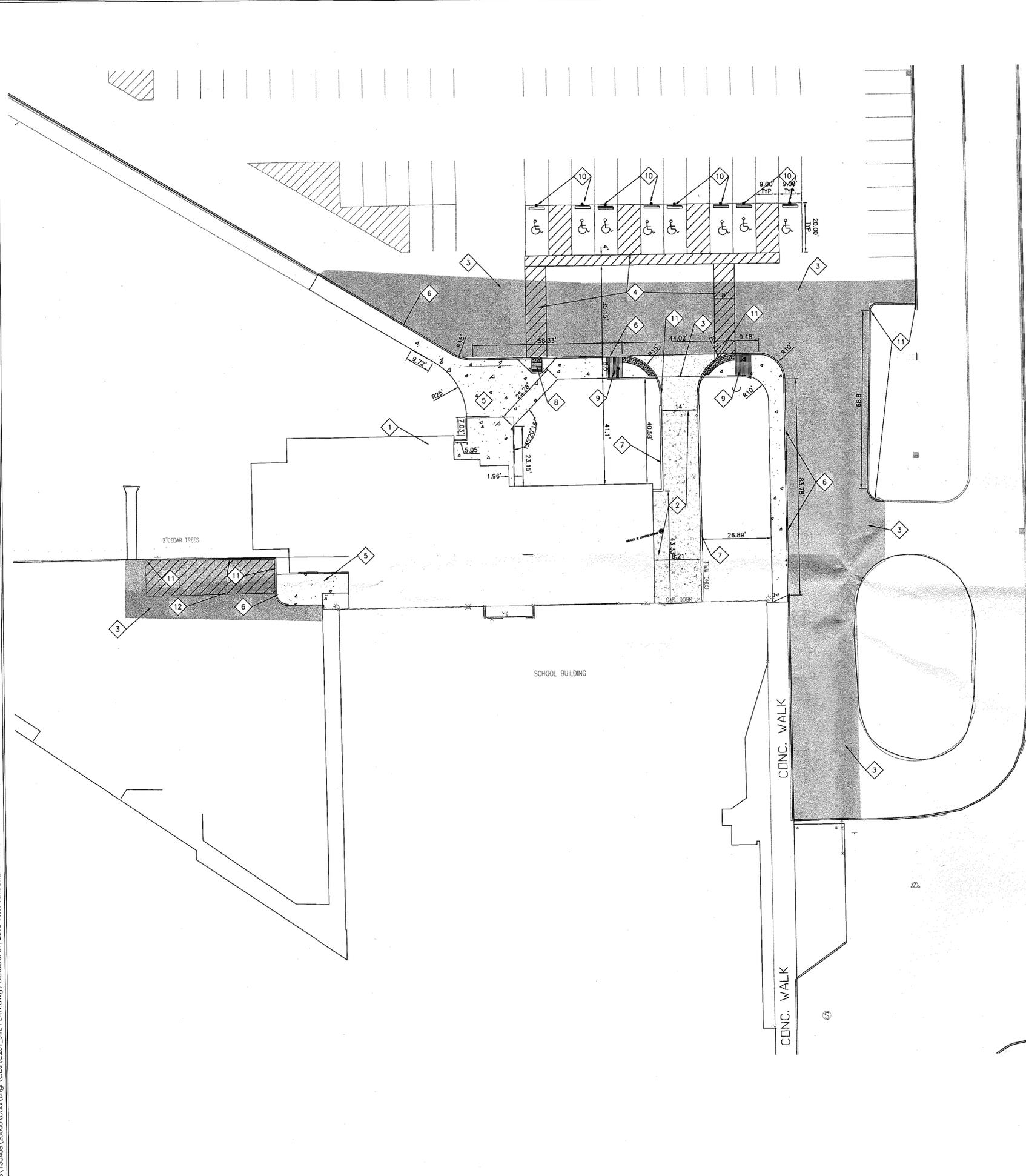
ISSUE DATE 10-14-2013
DRAWN BY B. WHITE
CHECKED BY D. LACH

DRAWING TITLE:
ENTIRE SITE
PLAN

CERTIFIED BY:
DAVID A. LACH
REGISTERED PROFESSIONAL ENGINEER
STATE OF INDIANA
No. 10000128
Date 10-31-13

DRAWING NUMBER
C200

PROJECT NUMBER
1304082000



SITE PLAN LEGEND

-  BUILDING ADDITION LIMITS
-  ADA ACCESSIBLE PARKING SIGN WITH PARKING BUMPER

GENERAL NOTES AND SPECIFICATIONS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH RESPECTIVE UTILITY COMPANIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT; FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK.
5. ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
6. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
7. EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
8. IT IS ESSENTIAL THAT THE WORK TO BE COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY TO CERTAIN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY OF COLUMBUS THAT CONSTRUCTION WAS COMPLETED IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.
9. SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
10. RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
11. WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
12. WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
13. REFER TO SHEET C502 AND C503 FOR BACKFILL REQUIREMENTS FOR ALL UTILITIES.
14. SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
15. SEE SHEET C502 AND C503 FOR DETAILS REFERENCED.
16. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

KEYNOTE LEGEND

-  1 BUILDING ADDITION (REFER TO ARCHITECTURAL PLANS)
-  2 CONCRETE PAVEMENT
-  3 NEW ASPHALT PAVEMENT
-  4 NEW CROSSWALK STRIPING
-  5 CONCRETE SIDEWALK
-  6 COMBINED WALK AND CURB
-  7 CONCRETE RETAINING WALL (REFER TO STRUCTURAL PLANS)
-  8 FLARED ACCESSIBLE RAMP. DETECTABLE WARNING SURFACE SHALL BE HERCULITE SERIES REPLACEABLE CAST IN PLACE, COLOR BRICK RED AS MANUFACTURED BY ARMOR-TILE, TACTILE SYSTEMS
-  9 MODIFIED ACCESSIBLE RAMP. DETECTABLE WARNING SURFACE SHALL BE HERCULITE SERIES REPLACEABLE CAST IN PLACE, COLOR BRICK RED AS MANUFACTURED BY ARMOR-TILE, TACTILE SYSTEMS
-  10 ADA ACCESSIBLE PARKING SIGNS WITH RE-INSTALLED PARKING BUMPERS
-  11 CONCRETE STRAIGHT CURB; MATCH EXISTING CURB
-  12 "NO PARKING" TEXT AND STRIPING PAINTED YELLOW

BCSC
 BARTHOLOMEW CONSOLIDATED
 SCHOOL CORPORATION
 2018 FACILITY IMPROVEMENTS

CSO Architects
 ARCHITECTURE • INTERIOR DESIGN
 8931 Keastown Circle • Indianapolis, IN 46240
 317.448.7800 • Fax 317.574.6957 • contact@csos.com

Cripe
 Architects • Engineers
 3099 PRIORITY WAY SOUTH DRIVE, SUITE 400
 INDIANAPOLIS, INDIANA 46260
 (317) 546-0100
 PROJECT MANAGER: DAVID A. LACH
 CIVIL ENGINEER: DAVID A. LACH
 LICENSE NO. 10000126

PROJECT:
 BCSC 2018 FACILITY IMPROVEMENTS
COLUMBUS EAST H.S.
 AUDITORIUM UPGRADES
 AND RENOVATIONS
 230 South Marr Road, Columbus, IN

SCOPE DRAWINGS:
 These drawings indicate the general scope of the project. It is the responsibility of the contractor to verify the location and depth of all utilities, manholes and structures before construction. The contractor shall be responsible for obtaining all necessary permits and approvals for the project. The contractor shall be responsible for the safety of the construction site and shall be responsible for the protection of the existing structures and utilities.

REVISIONS:
 1. 10/31/2013 AGENCY COMMENTS

ISSUE DATE 10-14-2013
DRAWN BY B. WHITE
CHECKED BY D. LACH

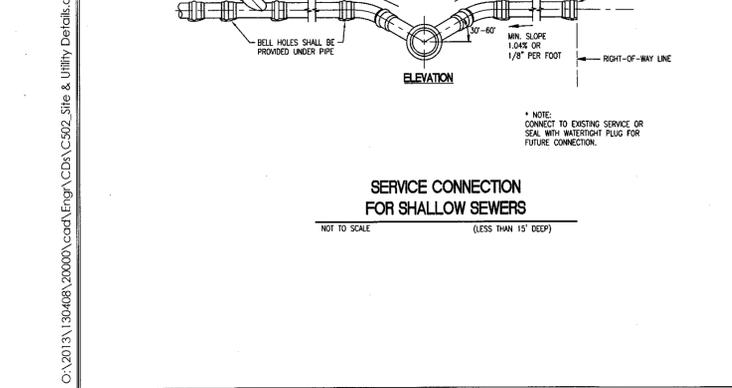
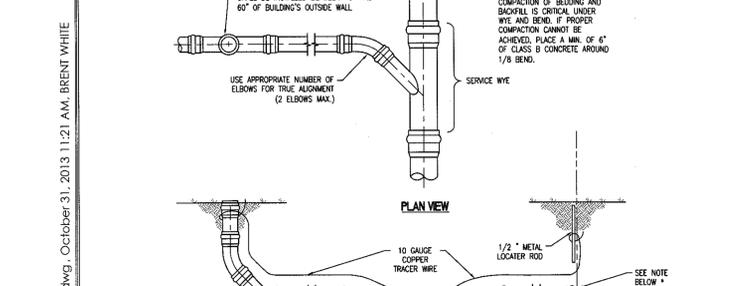
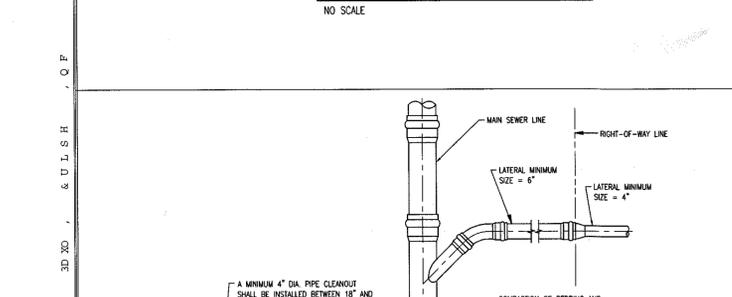
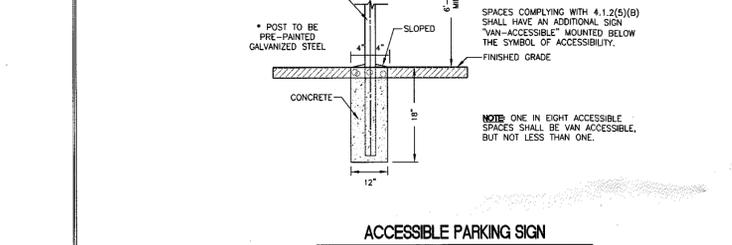
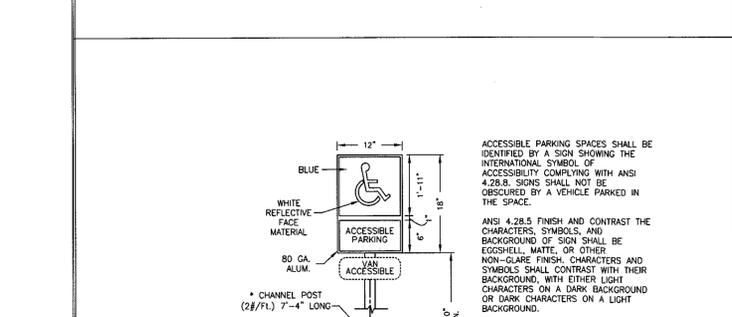
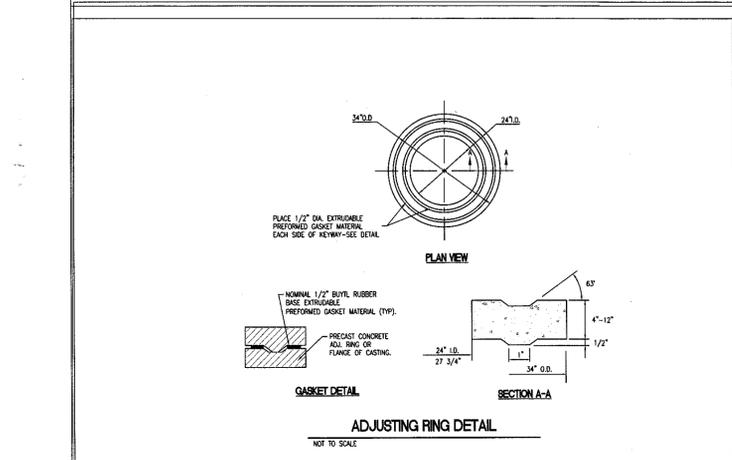
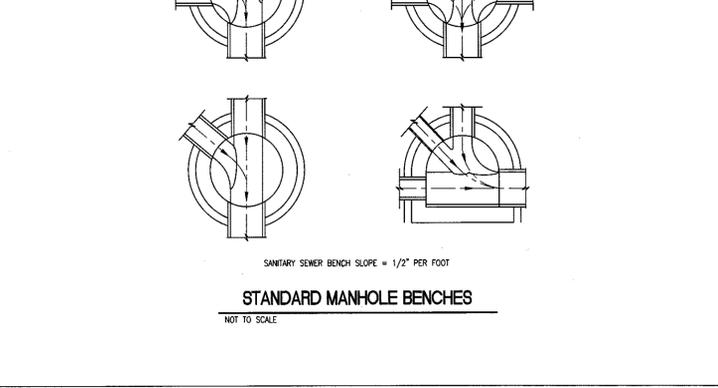
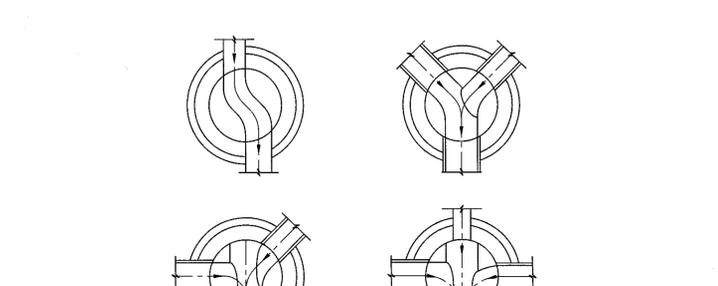
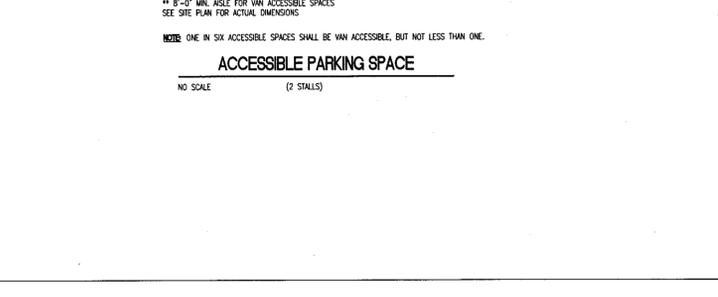
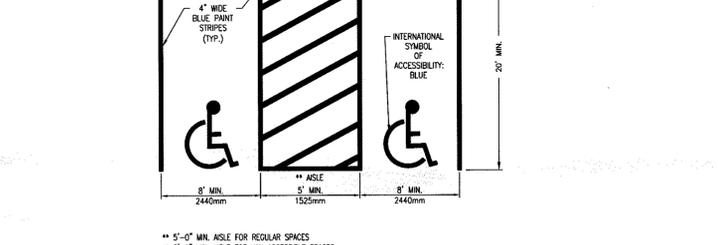
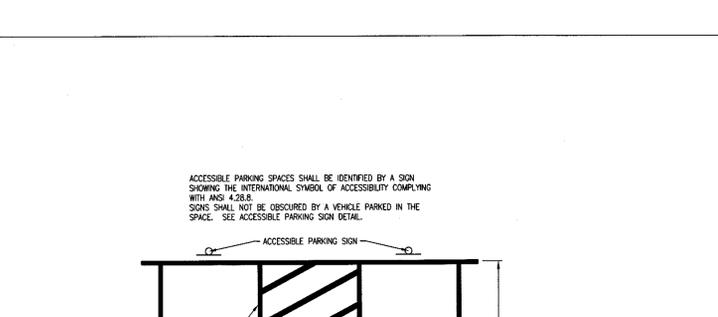
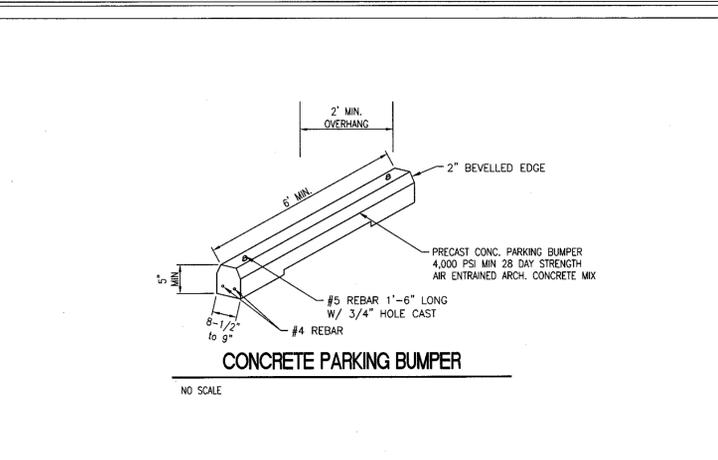
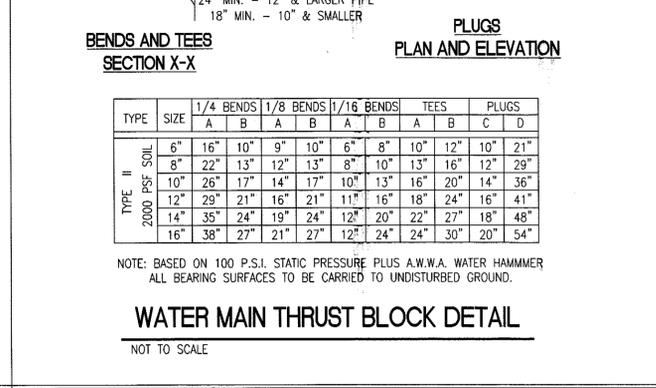
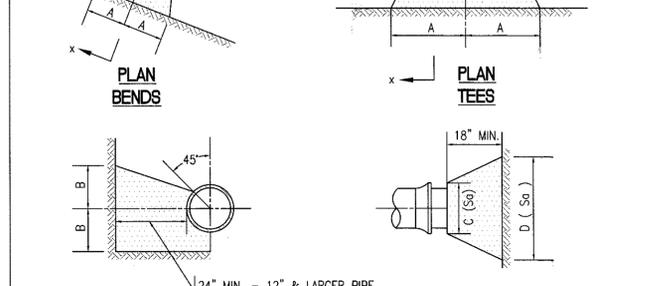
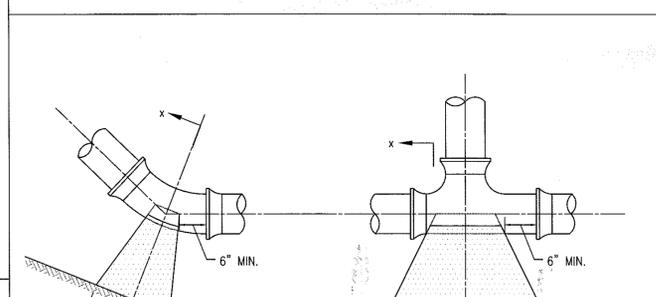
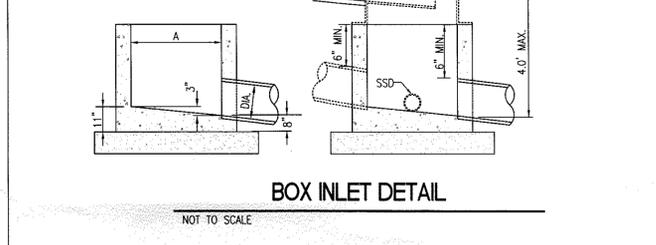
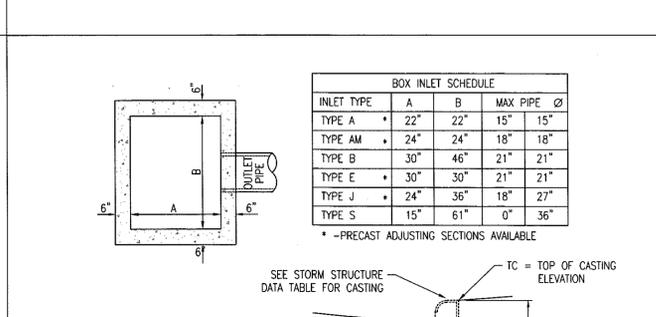
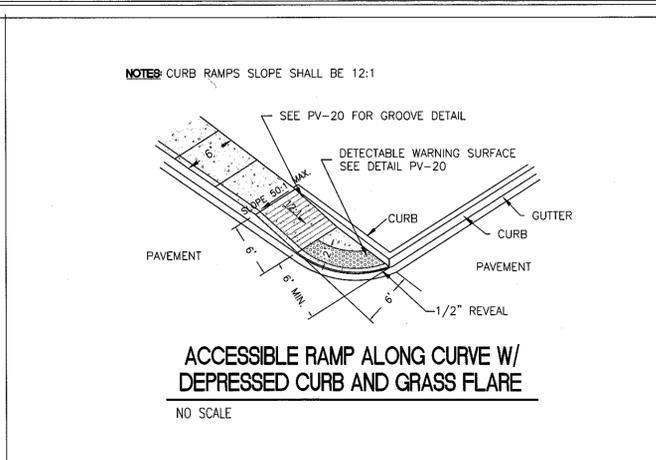
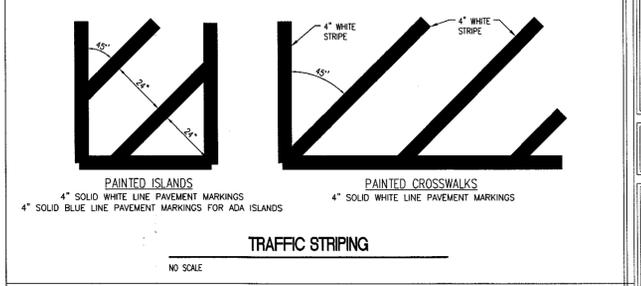
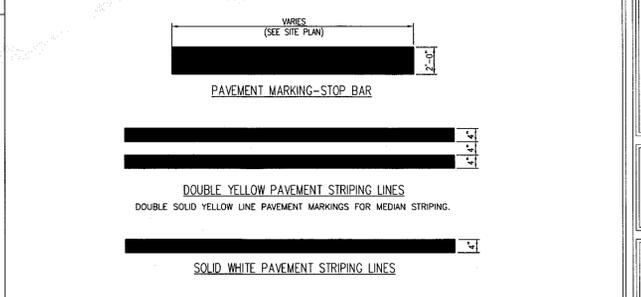
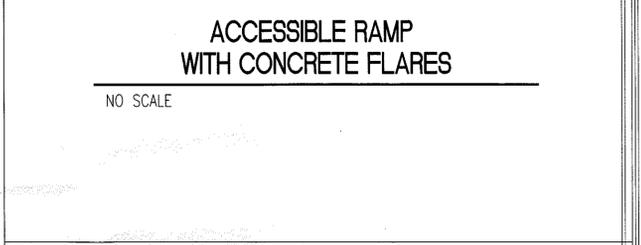
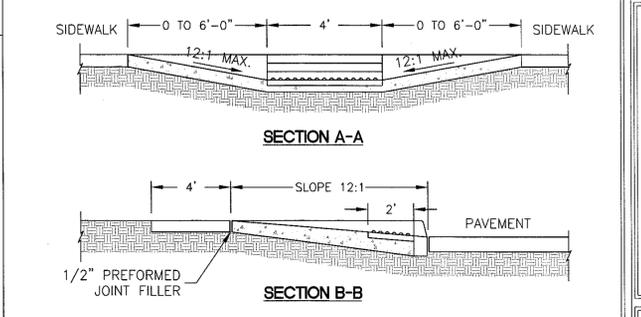
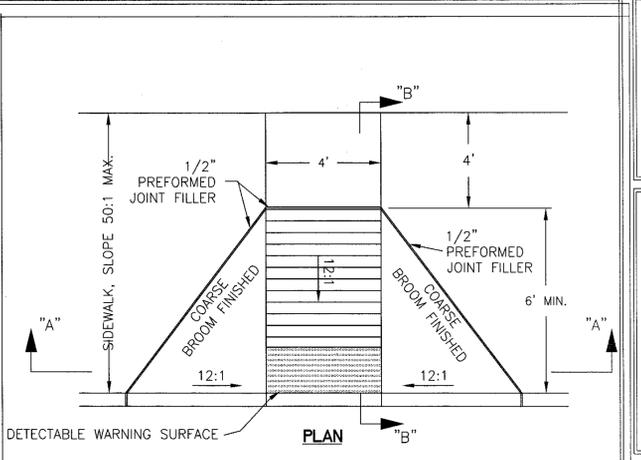
DRAWING TITLE:
SITE PLAN

CERTIFIED BY:

DAVID A. LACH
 REGISTERED PROFESSIONAL ENGINEER
 PE 10000126
 STATE OF INDIANA
 Date 10-31-13

DRAWING NUMBER
C201

PROJECT NUMBER
13040820000



Columbus – Bartholomew County Planning Department
Site Development Plan
Development Standards Waiver / Modification Worksheet
(Attach a separate worksheet for each requested waiver and/or modification.)

Waiver or Modification Requested:

I am requesting a waiver or modification from Section 7.1 (Table 7.1) of the Zoning Ordinance to allow the following:
for fewer parking spaces than required by ordinance.

Waiver or Modification Request Justification:

The Columbus & Bartholomew County Zoning Ordinance [Section 12.8(E)] establishes specific criteria that must be met in order for a waiver or modification to be approved with a site development plan. The requested waiver or modification must meet one of the following criteria. Please describe how the waiver or modification request meets each of the following criteria.

The requested waiver or modification will better serve the intent of the development requirement.

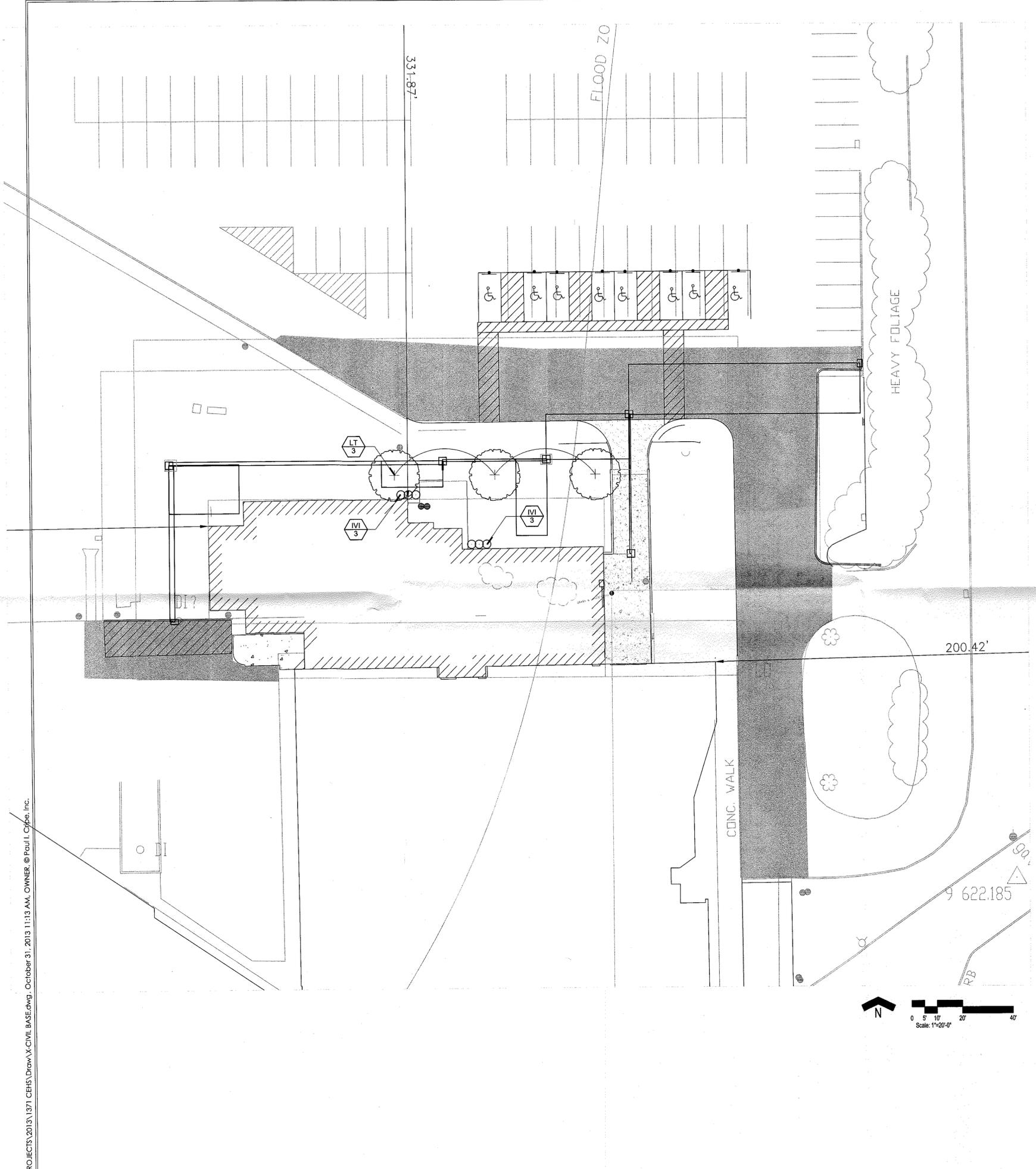
The parking required is 1500 spaces. Based on previously approved plans, the existing parking count is 741 spaces.
The proposed addition will cause a loss of 17 spaces for a total of 724 spaces.

The requested waiver or modification will better serve the intent of the zoning district in which the property is located.

The proposed design satisfies the need for the school and district at this time and is a minor change to the existing conditions.

The requested waiver or modification will better serve the general standards listed by Zoning Ordinance Section 12.8(E)(2) and repeated as follows: The proposed development (1) will be consistent with the comprehensive plan; (2) will not be detrimental to or endanger the public health, safety, convenience, or general welfare; (3) will not be injurious to the use and enjoyment of the surrounding property; (4) will not impede the efficient, orderly, and normal development of the surrounding property; (5) provides adequate access, utilities, landscaping, buffering, and other improvements; (6) provides pedestrian and vehicle ingress, egress, and circulation in a manner that maintains adequate public safety and efficient movement.

The waiver is a continuation of an existing approval and fulfills the six criteria as listed in Section 12.8 (E)(2) by allowing
the school to operate and expand the performing arts area.



PLANT SCHEDULE

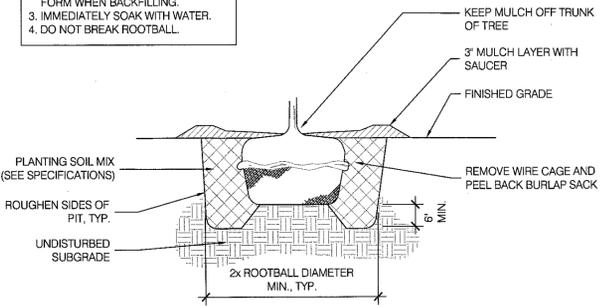
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
LT	3	Liriodendron tulipifera	Tulip Tree	B & B	2.5" Cal

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD D2
IVI	6	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	3 gal	18" Min.

LANDSCAPE TABLE

POINTS REQUIRED:	78
POINTS PROPOSED:	120
DEC. SHRUBS (25% MIN.)	6 @ 7.5 POINTS EA. = 45
TALL SHADE TREES	3 @ 25 POINTS EA. = 75

- GENERAL NOTES:**
1. SEE SPECIFICATIONS FOR DRAINAGE REQUIREMENTS PRIOR TO PLANTING.
 2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 3. IMMEDIATELY SOAK WITH WATER.
 4. DO NOT BREAK ROOTBALL.

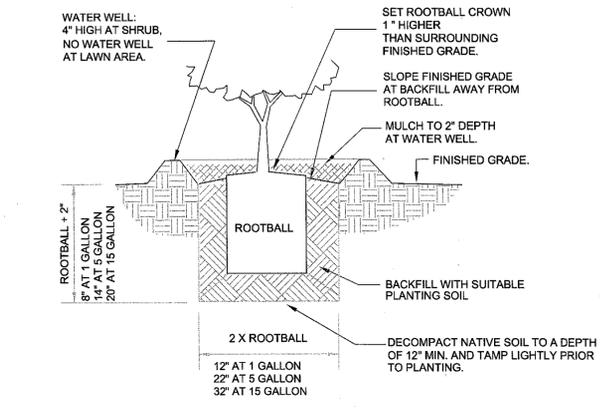


PLANTING PROCEDURE

1. EXCAVATE ROOTBALL PIT
2. SET TREE SUCH THAT ROOT FLARE OF TRUNK IS JUST HIGHER (2") THAN FINISHED GRADE.
3. BACKFILL WITH SOIL MIX & WATER IN
4. COMPLETE BACKFILLING, CONSTRUCT SAUCER, SPADE EDGE & ADD MULCH
5. STAKE AND GUY TREE ONLY IF DEEMED NECESSARY BY LANDSCAPE ARCHITECT IN FIELD.

1 TREE ROOTBALL TYPICAL

1/2" = 1'-0" 32 9343.33-04



2 SHRUB PLANTING - SIMPLE

1" = 1'-0" 32 9333.13-06

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BCSC
 BARTHOLOMEW CONSOLIDATED
 SCHOOL CORPORATION
 2013 FACILITY IMPROVEMENTS

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BCSC 2013 FACILITY IMPROVEMENTS
 COLUMBUS EAST H.S.
 AUDITORIUM UPGRADES
 AND RENOVATIONS
 250 South Marr Road, Columbus, IN

SCOPE DRAWINGS:
 These drawings indicate the general scope of the project. In cases of conflict, the contractor shall determine the location, the actual construction methods and the quality of materials, mechanical and electrical systems. The drawings do not necessarily indicate or describe all work required to be done. The contractor shall determine all requirements of the Contract.

On the basis of the general scope indicated on drawings, the contractor shall furnish all items required for the proper installation and completion of the work.

REVISIONS:

ISSUE DATE: 10-14-2013
 DRAWN BY: MJM
 CHECKED BY: DRR

DRAWING TITLE:
LANDSCAPE PLAN

CERTIFIED BY:

DRAWING NUMBER:
L101

PROJECT NUMBER:
13040820000

OCT 31 2013

Columbus – Bartholomew County Planning Department
Site Development Plan
Development Standards Waiver / Modification Worksheet
(Attach a separate worksheet for each requested waiver and/or modification.)

Waiver or Modification Requested:

8.1(C)(1) Area #1 – Parking Lot

I am requesting a waiver or modification from Section Public Street Frontage of the Zoning Ordinance to allow the following:

The plant material installed with the 2009 construction project to remain in the replanted positions on the property.

Waiver or Modification Request Justification:

The Columbus & Bartholomew County Zoning Ordinance [Section 12.8(E)] establishes specific criteria that must be met in order for a waiver or modification to be approved with a site development plan. The requested waiver or modification must meet one of the following criteria. Please describe how the waiver or modification request meets each of the following criteria.

The requested waiver or modification will better serve the intent of the development requirement.

The plant material as installed provides the required plant material to enhance the overall property.

The requested waiver or modification will better serve the intent of the zoning district in which the property is located.

The plant material as installed is in a preferred location to ensure the survivability of the plant material.

The requested waiver or modification will better serve the general standards listed by Zoning Ordinance Section 12.8(E)(2) and repeated as follows: The proposed development (1) will be consistent with the comprehensive plan; (2) will not be detrimental to or endanger the public health, safety, convenience, or general welfare; (3) will not be injurious to the use and enjoyment of the surrounding property; (4) will not impede the efficient, orderly, and normal development of the surrounding property; (5) provides adequate access, utilities, landscaping, buffering, and other improvements; (6) provides pedestrian and vehicle ingress, egress, and circulation in a manner that maintains adequate public safety and efficient movement.

The proposed waiver will be consistent with the comprehensive plan, not be detrimental to or endanger the public health safety, convenience or general welfare and will not be injurious to the use and enjoyment of the surrounding property.
