



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (March 9, 2016 Meeting)

Docket No. / Project Title: PUDF-16-01 (Fairfield Inn & Suites)
Staff: Melissa Begley
Applicant: Fairfield Inn & Suites
Property Size: 2.264 Acres
Current Zoning: PUD (Planned Unit Development)
Location: Lot 7B is located at the west end of the Merchants Mile cul-de-sac, north of the Chevrolet of Columbus property.

Background Summary:

Fairfield Inn & Suites is requesting approval of a Final PUD Plan for Lot 7B of Columbus Crossing. The applicants are proposing to construct a 4 story – 96 room hotel.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application:

1. Is the proposed Final PUD Plan consistent with the Preliminary PUD Plan?
2. Is the building of a “quality design” as required by the Preliminary PUD approval?

Staff Recommendation:

Approval, with the following conditions:

1. A Drainage Report must be submitted to and approved by the City Engineering Department.
2. An Improvement in the Right of Way Permit will need to be filed with the City Engineer’s Office before the construction of any items in the right of way.
3. An IDEM Rule 5 Permit will be submitted and reviewed by the Engineering Department before any land disturbing activities can take place.
4. The applicant must comply with the following technical comments:
 - a. Provide a legend to the roof plan.
 - b. Correct the Landscape Planting Calculation table for Area #4 plantings. There are 55 instead of 52 evergreen shrubs provided and there are 18 deciduous shrubs provided instead of 14 for a total of 667.5 points.
 - c. Provide 1 tree and 9 shrubs along Merchants Mile for Area #1 Parking Lot Frontage.

Current Property Information:	
Land Use:	Undeveloped Lot
Site Features:	Vacant lot

Current Property Information:	
Flood Hazards:	The 500 year floodplain is present on the property, however the proposed building site is not in the floodplain.
Vehicle Access:	Merchants Mile (Local, Commercial, Suburban)

Surrounding Zoning and Land Use:		
	Zoning:	Land Use:
North:	NA	Interstate 65 off-ramp
South:	PUD (Planned Unit Development)	Chevrolet of Columbus
East:	PUD (Planned Unit Development)	Vacant Lot
West:	N/A	Interstate 65

Proposal / General Standards Summary:

The following table compares the proposed features of the development with the standards established by the Preliminary PUD and in a comparable zoning district. A check mark indicates that the proposal is consistent with these general standards. All project features must follow the Preliminary PUD, but additions to these requirements are subject to the discretion of the Plan Commission.

Criterion / Status		Summary of PUD Proposal	Summary of Preliminary PUD Requirements	Summary of CR Zoning District Requirements
Permitted Uses:	✓	4 Story Hotel	As specified in the B-1 zoning district 17.26.030(G).	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (A) allows hotels as a permitted use.
Maximum Number of Buildings:	✓	One.	None.	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) allows one primary structure per lot.
Lot Coverage:	✓	Building lot coverage is 51%	None.	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) requires maximum lot coverage to be 75%.
Building Height:	✓	148 ft.	None.	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) has a no maximum building height for a primary

				structure.
Building Setbacks:	✓	<p>Front Yard Setback: 10 feet (Merchants Mile) 24 ft. (I-65)</p> <p>Side Yard Setback: 23 ft. & 35 ft.</p>	<p>Front Yard Setback: As determined by the Plan Commission (typically 25 to 50 feet).</p> <p>Side Yard Setback: As determined by the Plan Commission (typically 10 feet).</p> <p>Rear Yard Setback: As determined by the Plan Commission (typically 10 feet).</p>	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) requires a 10 foot setback from all front, side, and rear yards.
Drainage:		No drainage plan submitted at this time.	Preliminary Drainage Plan required.	Section 12.9 (D)(2)(s) requires drainage plans for site development plans.
Architectural Review:	✓	The majority of the building is EIFS in 6 complimenting colors with some cement board siding and cultured stone on the porte cochere.	The front sides of all retail buildings over 50,000 sq. ft. in gross floor area shall be brick or an equivalent material determined though the final PUD plan review process. Other facades shall be designed with appearance in mind, recognizing that the building will be highly visible from multiple angles.	None.
Parking Lot Setbacks Required:	✓	<p><i>Merchants Mile:</i> 90 ft.</p> <p><i>I-65:</i> 15 ft.</p>	None.	<u>Parking lot:</u> All parking lots are to be 10 feet from any front property line per Section 7.2 (B)(1).
Parking:	✓	<p><u>Vehicle Spaces:</u> 117 spaces provided, including 5 ADA spaces.</p> <p><u>Bicycle Spaces:</u> 2</p>	None	<u>Vehicle Spaces, Hotel use:</u> 1 space required per guest room and 1 space per 100 sq. ft. of UFA of meeting rooms (Table 7.2). 114 parking spaces are required. Five of which need to be ADA accessible.

				<u>Bicycle Spaces: 2</u>
Driveway Separation:	✓	<i>Merchants Mile:</i> 142 ft.	None.	Local Streets require 100 feet of driveway separation per (Section 7.3)(Part 1)(3)(c)(iii).
Wheel Stops:	✓	Provided along required landscape areas and required pedestrian walkways.	None.	Per Section 7.2 (Part 4)(A)(5)(c) of the Zoning Ordinance: "All required landscaped areas and pedestrian walkways which are perpendicular to parked vehicles shall be protected with wheel stops located in each space to prevent vehicles from overhanging the landscaped area or walkway. Parking spaces adjoining pedestrian walkways exceeding 7 feet in width shall be exempt from this requirement. A corresponding reduction in parking space length shall not be permitted."
Sidewalks:	✓	Existing 5 foot sidewalk along Merchants Mile	Sidewalks were already established in the original Columbus Crossing PUD.	<u>Thoroughfare Plan:</u> requires Local, Commercial, Suburban streets to have 5 foot wide sidewalks.
Sidewalks Linking Public Sidewalk to Building:	✓	There is a sidewalk proposed linking the sidewalk along Merchants Mile to the building entrance.	None	Sidewalks should be linked between the public sidewalk and building entrance. Section 7.3(Part 2)(B) of the Zoning Ordinance.
Landscaping:		<u>Area #1:</u> Merchants Mile: None. I-65: 10 large trees, 78 shrubs <u>Area #2:</u> <i>Island/Peninsula:</i>	Landscaping for the PUD shall at a minimum meet the requirements of Chapter 17.43 of the Zoning Ordinance for B-5 commercial development and also at the Plan Commission's discretion. Final PUD plans for all	Section 8.1(C): <u>Area #1 Parking Lot Public Street Frontage:</u> Merchants Mile: 1 tree, 9 shrubs I-65: 10 large trees and 74 shrubs

		<p>2,627 total sq. ft.</p> <p><i>Plantings:</i> 8 trees, 51 shrubs.</p> <p><u>Area #3:</u> 62.5 points</p> <p><u>Area #4:</u> 667.5 points (667.5 points within 15 ft. of the building)</p>	<p>buildings on the north side of Merchants Mile shall include landscaping and architectural treatment along both north and south sides of buildings.</p>	<p><u>Area #2 Parking Lot Interior: Island/Peninsula:</u> 2,467 sq. ft. Islands must be at least 300 sq.ft. and peninsulas must be at least 150 sq.ft.</p> <p><i>Plantings:</i> 8 trees and 49 shrubs</p> <p><u>Area #3 Front Setback:</u> 32.4 points</p> <p><u>Area #4 Lot Interior:</u> 175 points (44 points of which, must be within 15 ft. of the building)</p>
Street Trees:	✓	<i>Merchants Mile:</i> 2 trees proposed	<i>Merchants Mile:</i> 2 trees required	None.
HVAC Enclosure:	✓	Site plan provided showing location of screening.	Roof top units required to be screened.	None.
Signage:	✓	<p><u>Monument:</u> Signs: 1 Total Sign Area: 35.75sq.ft. Total Height: 8 ft. Material: Aluminum</p> <p><u>Wall:</u> Four signs (one per façade). East façade: 144 sq.ft. West façade: 90.5 sq. ft. North façade: 56.8 sq. ft. South façade: 56.8 sq. ft. Totaling 348.2 sq.ft.</p> <p><u>Interstate Oriented Sign:</u> Total Sign Area: 70 sq. ft. Total Height: 75 ft.</p>	<p><u>Monument (free standing):</u> Max number per street frontage: 1 (2 allowed on this site). Max Area: 150 square feet. Max Height: 25 feet.</p> <p><u>Wall:</u> Max number per street frontage per use: 3. (6 allowed on this site) Maximum area, whichever is greater: 15% of wall area or 350 sq.ft. (350 for this site)</p>	<p><u>Monument (free standing):</u> Max number per street frontage: 1 (2 allowed on this site). Max Area: 150 square feet. Max Height: 25 feet.</p> <p><u>Wall:</u> Max number per street frontage per use: 3. (6 allowed on this site) Maximum area, whichever is greater: 15% of wall area or 350 sq.ft. (350 for this site)</p> <p><u>Interstate Oriented Sign:</u> Max number per lot: 1 (only in the CR Zoning District) Maximum area: 200 sq. ft. Max Height: 90 ft.</p>

Trash Enclosure:	✓	8 foot tall wood 100% opaque screening.	None.	Screening shall consist of a 6 foot tall, 100% opaque fence of wood, stone, masonry, architectural metal, or other similar construction per Section 6.1(C)(2) of the Zoning Ordinance.
Lighting:	✓	Foot candles not to exceed 0.1 shown at the PUD boundary lines. Exterior light fixtures are shown to be 90 degree cut-off. 20 foot tall lights proposed.	Lighting shall not to exceed 0.1 foot-candles at the PUD boundary lines.	Per Section 9.4: 90 degree cut off fixtures are required. All such fixtures shall be limited to a maximum total height of 25 feet. Each free-standing light fixture may be provided with a base of up to 36 inches in height, which will not be included in the total height measurement.

Interdepartmental Review:	
City Engineering:	<ol style="list-style-type: none"> 1. A Drainage Report is still needed for the site. 2. An Improvement in the Right of Way Permit will need to be filed with the City Engineer's Office before the construction of any items in the right of way. 3. An IDEM Rule 5 Permit will be required before any land disturbing activities can take place
Fire Department:	No issues with this request.
Code Enforcement:	No issues with this project.
Flood Plain Administrator:	No issues with this request.

History of this Location:

The relevant history of this property includes the following: A portion of the Columbus Crossing received partial PUD rezoning and preliminary PUD approval in 2001 (PUD-01-02) and the remainder received partial preliminary PUD rezoning and approval in 2002 (PUD-02-01). The Preliminary PUD Plan approval was completed in 2003 (PUD-02-11). The total development consists of approximately 169.95 acres. The proposed hotel will occupy Lot 7B. Lot 7B is located at the west end of the Merchants Mile cul-de-sac, north of the Chevrolet of Columbus property.

Comprehensive Plan Consideration(s):

The Future Land Use Map indicates the future use of this property as commercial.

The following Comprehensive Plan goal(s) and/or policy(ies) apply to this application:

- **POLICY A-2-16:** Promote simple, objective design standards (not an architectural review committee) for commercial, industrial, and institutional development. *Because the appearance of the community is important, the City needs to promote design standards that will lead to attractive development. These standards might include such things as variations in roof lines or building facades, requirements for windows, or standards for the placement of buildings on their lots.*
- **POLICY E-2-1:** Encourage development of these corridors in a manner that is visually appealing. *Highway corridors greatly impact the appearance of a community. Because community appearance is important to local residents, the city should encourage these corridors to be developed in a manner that enhances community appearance. Elements to be considered include landscaping, screening or outdoor storage and display, appearance of buildings, design of parking areas, and others.*
- **POLICY E-2-3:** Establish objective design standards (not an architectural review committee), to encourage development with appropriate landscaping, parking, setbacks, visually appealing buildings, and attractive and effective signage. *Design standards could include such things as requirements for variations in building facades, roof lines, materials, colors, and limitations on outside storage.*

This property is located in the Western Gateway character area. The following Planning Principle(s) apply to this application: In order to reflect the importance of this area as the city's primary entry, design standards should be adopted for layout, buildings, landscaping, signs, and lighting.

Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. The applicant is proposing a Final PUD Plan for a 50,928 square foot, 4 story hotel. The hotel will consist of 96 guest rooms and conference meeting rooms. The site will be accessed from Merchants Mile and the orientation of the building faces east.
2. The Columbus Crossing Planned Unit Development (PUD) was established in 2003 as a means to ensure quality development at the Interstate 65 and State Road 46 front door of the Columbus community. All properties located in the Columbus Crossing PUD are regulated by the design requirements of the Columbus Crossing Preliminary PUD. All site development plans proposed for these properties must be approved by the City of Columbus Plan Commission as Final PUD Plans. The Preliminary PUD lists guidelines and some specific requirements for site development in this PUD however the Plan Commission has the authority to require design changes to reflect the desired quality of the PUD development.
3. The Preliminary PUD Plan provides design guidance for the architecture of the building. The requirement of the Preliminary PUD is that the front sides of all retail buildings over 50,000 square feet in gross floor area shall be brick or an equivalent material determined through the final PUD plan review process for each building. Other facades of these buildings shall be designed with appearance in mind, recognizing that the buildings will be highly visible from multiple angles. Typically the Plan Commission requires buildings of all sizes, even those under 50,000 square feet, to use quality building materials such as brick, Quik Brik, stone, EIFS (stucco), architectural metal, and split-face CMU (concrete masonry units) on all sides. All building sides should be designed to a consistent level of quality; 360° architecture. Additionally, buildings on lots with frontage on Merchants Mile should be oriented towards Merchants Mile.
4. The applicants are proposing EIFS as the primary material on the building façades. There will also be accents of cement board siding and cultured stone on the porte cochere. These treatments extend to all 4 sides of the building.
5. The Columbus Crossing Preliminary PUD sign standards were amended on September 13, 2015 (PUD-15-09). These amendments allow for signs to be generally consistent with the CR (Commercial: Regional Center) zoning district. The Plan Commission shall not be bound exclusively to the CR zoning district standards and may further limit and/or permit signs. The revisions further state that "All permanent signs shall be designed with appearance in mind and

shall be consistent and compatible with the overall design characteristics of the structure(s) on each lot. Permanent freestanding signs shall make use of supports and other design elements that are consistent and compatible with those used on the structure(s) on the same lot on which they are located”.

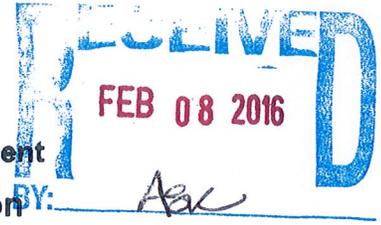
6. The applicant is requesting a wall sign on each building façade for a total of 4 wall signs. The signs on the north and south elevations are 56.8 square feet in size. They are proposing a 90.56 square foot sign on the west elevation and a 144 square foot sign on the east elevation. The applicants have indicated the sign is to provide visibility from I-65. The applicant is also requesting a freestanding interstate oriented sign that is 75 feet in height and 70 square feet in size.
7. In reviewing past Columbus Crossing Final PUD Plans, the Plan Commission has placed specific emphasis on the landscaping provided around the base of the building. The CR (Commercial: Regional) zoning district would require 44 landscape points around the foundation of the building. The applicants are proposing 667.5 points, or the equivalent of 73 shrubs and 12 evergreen trees.

Decision Criteria:

When considering a request for *final PUD* approval the Plan Commission and legislative body shall pay reasonable regard to the following, consistent with IC 36-7-4-603 and IC 36-7-4-1509(d):

1. The extent to which the proposal is consistent with the approved Preliminary Plan;
2. The extent to which the proposal fulfills the requirements and intent of Article 5 of the Zoning Ordinance;
3. The Comprehensive Plan and any other applicable, adopted planning studies or reports;
4. The current conditions and the character of current structures and uses in each zoning district;
5. The most desirable use of which the land in each district is adapted;
6. The conservation of collective property values throughout the legislative body's jurisdiction as a whole; and
7. Responsible growth and development.

Plan Commission Options: In reviewing a request for a *final PUD* the Plan Commission may (1) approve the request, (2) deny the request, or (3) continue the review to the next Plan Commission meeting. The Plan Commission may request modifications to the proposed detail PUD.



Columbus – Bartholomew County Planning Department
Planned Unit Development (PUD) Application

Planning Department Use Only:

Jurisdiction: Columbus Bartholomew County
Docket No.: PUDF-16-01

Planned Unit Development (PUD) Application:

Application Type: Preliminary PUD Plan Final PUD Plan & Rezoning
 Minor Modification Major Modification (a Preliminary or Final PUD Revision)

PUD Title: COLUMBUS CROSSING (Fairfield st)

Applicant Information (the person or entity that will own and/or execute what is proposed):

Name: AGS COLUMBUS LLC
Address: 101 CARRIE LANE Columbus IN 47201
(number) (street) (city) (state) (zip)
Phone No.: 812-219-6034 Fax No.: 877-845-6676 E-mail Address: apatel@ags-pe.com

Property Owner Information (the "owner" does not include tenants or contract buyers):

Name: MENARD, INC
Address: 5101 MENARD DRIVE Eau Claire WI 54903
(number) (street) (city) (state) (zip)
Phone No.: 715-876-2776 Fax No.: 715-876-5998 E-mail Address: tenyeast@menard-inc.com

Property Information:

Property Size: 2.27 AC acres or _____ square feet
Address: 2820 Merchant's Mile Columbus IN 47201
(number) (street) (city) (state) (zip)

or General Location (if no address has been assigned provide a street corner, subdivision lot number, etc):

- A legal description is attached.
(a legal description is required for the processing of all Final PUD Plan requests)
- The PUD document is attached.
(refer to Columbus & Bartholomew County Zoning Ordinance Section 5.3(B) for Preliminary PUD Plan requirements and Section 5.4(B) for Final PUD Plan & Rezoning Requirements)

Notification Information (list the person to whom all correspondence regarding this application should be directed):

Name: MIKE TERRY

Address: 7474 Noel Road Indianapolis IN 46278
(number) (street) (city) (state) (zip)

Phone No.: 317-251-1738 Fax No.: _____ E-mail Address: mterry@rw-engineering.com
EXT: 6

How would you prefer to receive information (please check one): E-mail Phone Fax Mail

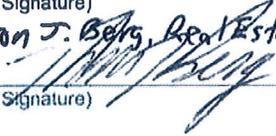
Applicant's Signature:

The information included in and with this application is completely true and correct to the best of my knowledge and belief.

 2/5/16
(Applicant's Signature) (Date)

Owner's Signature (the "owner" does not include tenants or contract buyers):

I authorize the filing of this application and will allow the Planning Department staff to enter this property for the purpose of analyzing this request. Further, I will allow a public notice sign to be placed and remain on the property until the processing of the request is complete.

Menard, Inc. _____
(Owner's Signature) (Date)
Theron J. Berg, Real Estate Manager
 _____
(Owner's Signature) (Date) 2/8/16



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LOT 7B COLUMBUS CROSSING PUD COLUMBUS, INDIANA



FINAL PUD PLAN SUBMITAL SHEET INDEX

GENERAL

G-001 TITLE, SHEET INDEX, TEAM CONTACTS, RENDERING

SITE

C-102 SITE PLAN
L-101 LANDSCAPE PLAN
C-103 PRELIMINARY DEVELOPMENT PLAN (GRADING, DRAINAGE AND UTILITIES)
C-104 EROSION CONTROL PLAN
C-801 GENERAL DETAILS
C-802 GENERAL DETAILS
A-100 SITE SIGNAGE PLAN / SIGNAGE DETAILS
E-100 SITE PHOTOMETRIC PLAN AND DETAILS

EXTERIOR ELEVATIONS

A-301 NORTH AND WEST ELEVATIONS W/ MATERIALS NOTES
A-302 SOUTH AND EAST ELEVATIONS W/ MATERIALS NOTES
A-303 SOUTH AND EAST COLORED ELEVATIONS
A-304 ROOF PLAN WITH SCREENING NOTES

KEY CONTACTS

OWNER / DEVELOPER

AGS COLUMBUS LLC

PHONE: 1-812-219-6034
FAX: 1-877-845-6676

gpatel@ags-pe.com

CIVIL / LANDSCAPE

ROGER WARD ENGINEERING

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MIDWEST CITY, INDIANA 46278
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cstallbaumer@bsestructural.com

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dorrell@qmaarchitects.com

MEP ENGINEERS

HP ENGINEERING

205 N.W. 63RD SUITE 100
OKLAHOMA CITY, OKLAHOMA 73116
405-286-9945 (OFFICE)

dustin@hpengineering.com

Site Location Map



RECORDING INFORMATION

THIS DOCUMENT WAS PREPARED BY _____, I, AFFIRM UNDER THE PENAL TIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

PRINTED NAME _____

FINAL PUD APPROVAL CERTIFICATE

THESE FINAL PLANNED UNIT DEVELOPMENT PLANS WERE APPROVED BY THE CITY OF COLUMBUS PLAN COMMISSION THIS _____ DAY OF _____, 20____.

PRESIDENT, DENNIS BAUTE

SECRETARY, DAVID FISHER



Quinn McAllister
Architects

1390 S. Douglas Blvd.
Suite 200
Midwest City, OK 73130
Phone: 405.732.0343
Fax: 405.737.3577
www.qmaarchitects.com



PROJECT NO: 16-001
ISSUE DATE: 03/25/2016
PROJECT MANAGER: D.McA
DRAWN BY: D.McA
DRAWER NO: x

REVISIONS:

No.	Description	Date

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE:

SCHEMATIC
DESIGN

PROJECT PROGRESS:

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SHEET DESCRIPTION:

SHEET NUMBER:

G-001



SOUTH ELEVATION



EAST ELEVATION



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NOT FOR CONSTRUCTION

PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.M.A.
DRAWN BY: D.M.A.
DRAWER NO: *

REVISIONS:

No.	Description	Date
1	REVISIONS PER PUB. COMMENTS	2-25-16

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE:
SCHEMATIC DESIGN

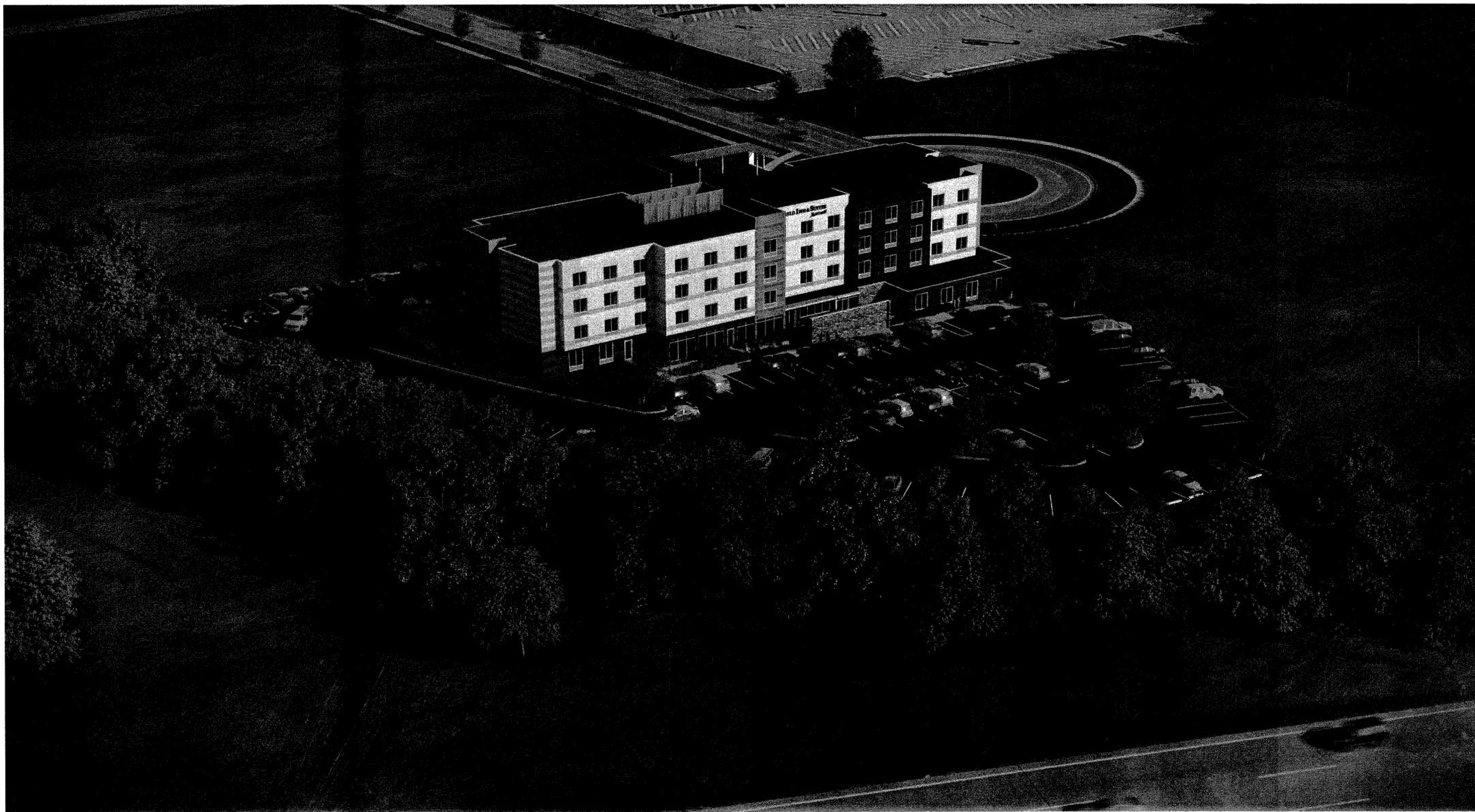
PROJECT PROGRESS:
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SHEET DESCRIPTION:
COLORED SOUTH & EAST ELEVATIONS

SHEET NUMBER:
A-303

FAIRFIELD INN & SUITES[®] Marriott

LOT 7B COLUMBUS CROSSING PUD
COLUMBUS, INDIANA



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dustin@hpengineering.com

Site Location Map



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PRINTED NAME _____

FINAL PUD APPROVAL CERTIFICATE

THESE FINAL PLANNED UNIT DEVELOPMENT PLANS WERE APPROVED BY THE CITY OF COLUMBUS PLAN COMMISSION THIS _____ DAY OF _____, 20____.

PRESIDENT, DENNIS BAUTE

SECRETARY, DAVID FISHER



PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.McA
DRAWN BY: D.McA
DRAWER NO: x

REVISIONS:

No.	Description	Date

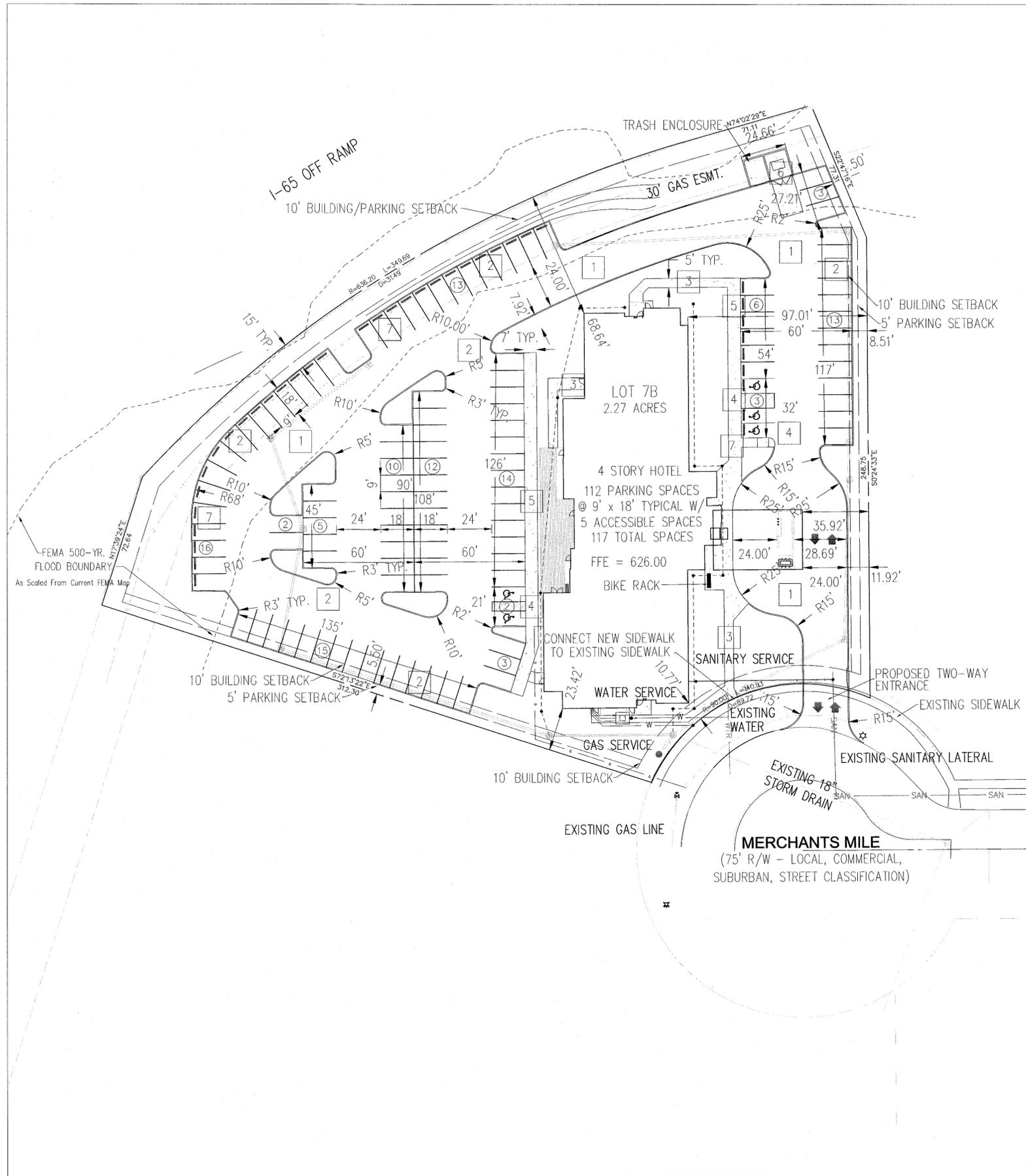
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G-001

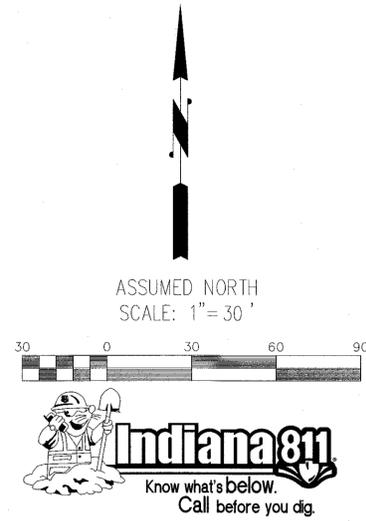


LEGEND

- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER, INLET & M.H.
- EXISTING GAS LINE/GAS VALVE
- EXISTING WATER LINE
- EXISTING BURIED TELEPHONE
- EXISTING BURIED ELECTRIC
- EXISTING ELECTRIC TRANSFORMER
- EXISTING SIGN
- EXISTING AREA LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY LATERAL W/ CLEANOUT
- PROPOSED ROOF DRAIN W/ CLEANOUT
- PROPOSED STORM SEWER, INLET & M.H.
- PROPOSED WATER METER VAULT W/ VALVE & PIV
- PROPOSED FIRE DEPT. CONNECTION
- NUMBER OF PROPOSED PARKING SPACES
- PROPOSED PROTECTIVE BOLLARD
- DENOTES PAVEMENT STRIPPING WITHIN HANDICAPPED LOADING/UNLOADING ZONE
- HATCHING DENOTES CONCRETE WALKS AND PAVEMENT

GENERAL NOTES

1. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO THEIR PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
2. STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AGENCY SHALL APPLY FOR ALL SANITARY SEWERS, STORM SEWERS, AND WATER MAINS.
3. ALL PARKING STRIPES ARE TO BE 4" PAINTED (WHITE), HANDICAPPED ACCESS AISLES SHALL BE 4" PAINTED (BLUE).
4. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED OTHERWISE.
5. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
6. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
7. ALL WATER MAINS TO HAVE A 54" MINIMUM COVER OVER TOP OF PIPE.
8. WATER SERVICE LINE TO THE BUILDING SHALL HAVE A SHUT-OFF VALVE IN AN ACCESSIBLE LOCATION OUTSIDE OF THE BUILDING, UNLESS OTHERWISE DETERMINED PROPOSED WATER SERVICE LINE IS SIZED WITHOUT BUILDING BEING SPRINKLED FOR FIRE PROTECTION. FINAL WATER LINE SIZE TO BE DETERMINED BY MEP ENGINEER.
9. STERILIZATION OF WATER MAIN SHALL BE IN ACCORDANCE WITH STATE BOARD OF HEALTH REQUIREMENTS.
10. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY PLACED BETWEEN EXPANSION JOINTS, CONTRACTION JOINTS, AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
11. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
12. SEE THIS SHEET FOR LAND DESCRIPTION.
13. ALL 6" PVC SANITARY SEWER LATERALS SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1.04%.
14. ALL LATERALS ARE REQUIRED TO HAVE TRACER WIRE INSTALLED ON THE TOP OF THE PIPE FROM THE SEWER MAIN TO THE CLEANOUT.
15. CONTRACTOR TO REFER TO SITE LIGHTING PLAN FOR LOCATION OF LIGHT POLES.
16. CONTRACTOR TO PROVIDE SUFFICIENT CONDUIT WHERE ELECTRIC LINES CROSS PAVEMENT.
17. REFER TO MEP PLANS FOR UTILITY CONNECTIONS TO PROPOSED BUILDING.



LAND DESCRIPTION

LOT 7B AS SHOWN ON THE PLAT OF COLUMBUS CROSSING IN PLAT CABINET "R", PAGE "45-D" IN THE OFFICE OF THE RECORDER OF BARTHOLOMEW

DEVELOPMENT SUMMARY

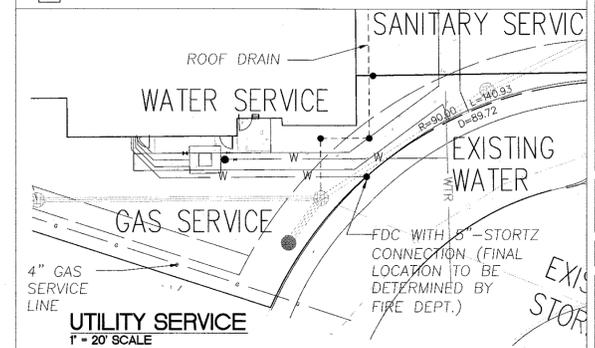
SITE & BUILDING INFORMATION :
 TOTAL SITE AREA = +/- 2.27 AC/98,881 SQ.FT.
 PROPOSED BUILDING = 50,928 SF (FOOTPRINT)
 SITE ZONING = COLUMBUS CROSSING PUD
 FRONT SETBACK = 10 FT.-BUILDING, 10 FT.-PARKING
 SIDE AND REAR SETBACK = 10 FT.-BUILDING, 5 FT.-PARKING

GUEST ROOMS = 96
 USEABLE FLOOR AREA-MEETING ROOMS = 1,828 SQ.FT.

PARKING SPACES PROVIDED :
 PARKING REQUIRED @ 1/ROOM = 96 @ 1/100 SQ.FT. MTG. RM. =18
 TOTAL REQUIRED PARKING SPACES @ 114
 TOTAL PARKING SPACES PROVIDED = 117
 ACCESSIBLE PARKING SPACES PROVIDED = 5
 CONVENTIONAL PARKING SPACES PROVIDED = 112

KEY NOTES

- 1 PROPOSED ASPHALT PAVEMENT
- 2 PROPOSED 6" CONCRETE STRAIGHT CURB
- 3 PROPOSED CONCRETE WALK
- 4 PROPOSED ADA RAMP
- 5 PROPOSED INTEGRAL WALK AND CURB
- 6 PROPOSED CONCRETE PAVEMENT.
- 7 PROPOSED PRECAST CONCRETE WHEEL STOP.



APPROVAL PENDING NOT FOR CONSTRUCTION

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 7474 NOEL ROAD
 INDIANAPOLIS, INDIANA 46278
 (317) 251-1738 (FAX) 251-1923
 www.rw-engineering.com

SITE AND UTILITY PLAN

DRAWN BY: MKT
 DATE: 2/8/2016
 TIME: 3:59:59 PM (CST)
 AREA:

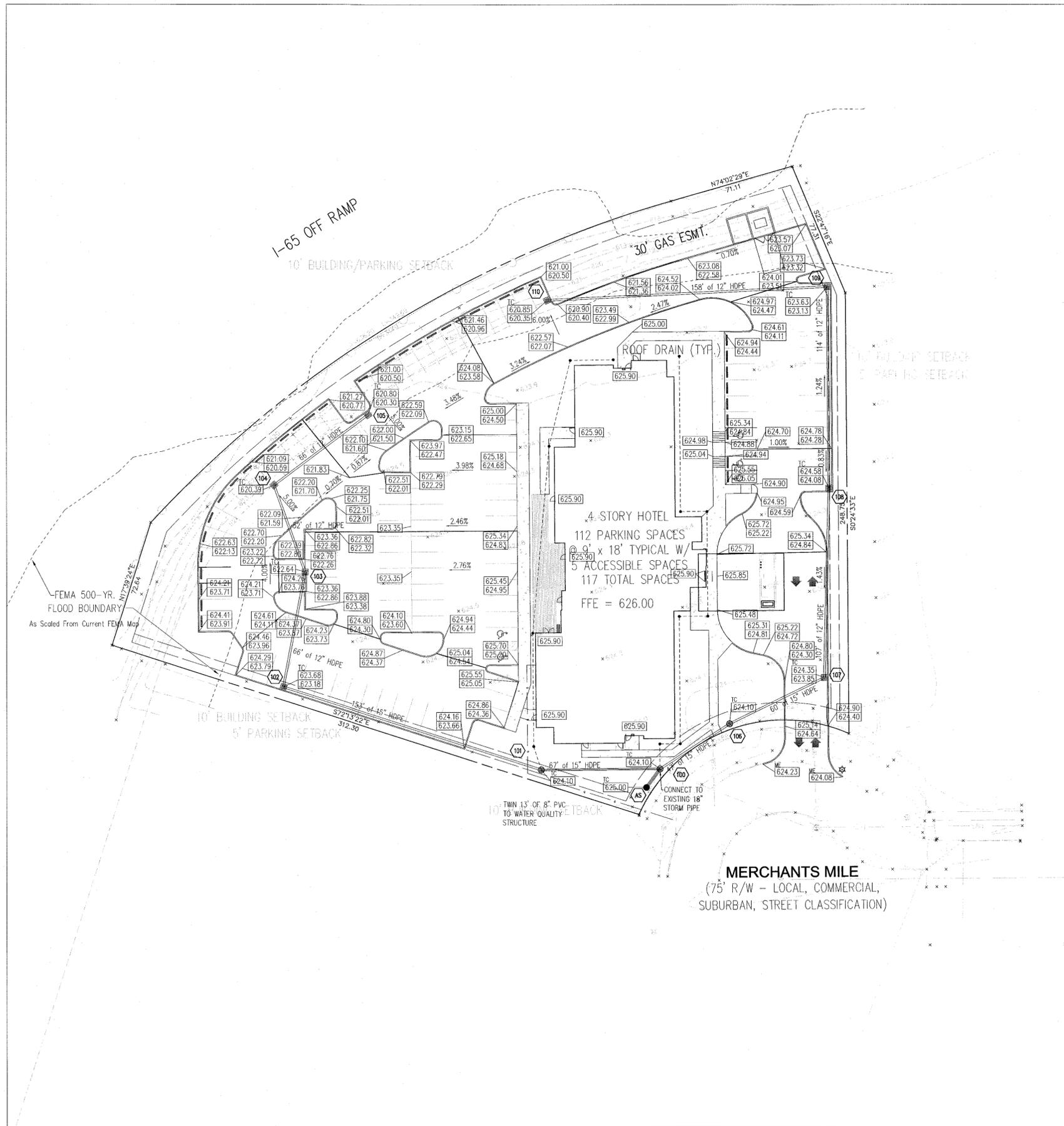
REVISIONS:
 1-2-25-16-REVISED PER COLUMBUS COMMENTS
 1-2-25-16-REVISED PER COLUMBUS COMMENTS
 1-2-25-16-REVISED PER COLUMBUS COMMENTS

FAIRFIELD INN & SUITES
2820 MERCHANTS MILE
COLUMBUS, INDIANA 47201

BY: *Roger C. Ward*
 DATE: 2-8-2016

SHEET **C102** OF

JOB#: AGS.002



LEGEND

- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & CLEANOUT
- EXISTING STORM SEWER; INLET & M.H.
- EXISTING GAS MAIN
- PROPOSED STORM SEWER; INLET
- BEE HIVE INLET, M.H. AND END SECTION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED TOP OF CURB/
GUTTER GRADE
- PROPOSED GRADE
- DRAINAGE FLOWLINE
- ROOF DRAIN/SUBSURFACE DRAIN
- DRAINAGE FLOW ARROW
- SLOPE STABILIZATION - RIP RAP

FFE = 626.00 FINISH FLOOR ELEVATION

ASSUMED NORTH
SCALE: 1" = 30'



GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 1.00%.
4. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
5. SLOPES SHALL NOT BE GREATER THAN 3:1 UNLESS OTHERWISE SPECIFIED.
6. REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED BUILDING PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
7. THE SUB-GRADE AND ANY FILL PLACED ON-SITE SHALL BE COMPACTED TO A MINIMUM OF 93 PERCENT STANDARD PROCTOR DENSITY (ASTM D-1557). FILL BENEATH THE BASE OF FOOTING ELEVATION AND PARKING LOT AREAS SHALL BE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY (ASTM D-1557). REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
8. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
9. ALL STORM SEWER TRENCHES ARE TO BE BACKFILLED WITH GRANULAR MATERIAL.
10. STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AUTHORITY SHALL APPLY FOR ALL STORM SEWER CONSTRUCTION.
11. MAXIMUM SLOPE OF 2.00% IN HANDICAPPED PARKING AREAS.
12. ROOF DRAINS AND FOUNDATIONS DRAINS TO BE KEPT SEPARATE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF FOUNDATION DRAINS AND DOWNSPOUTS.
13. ALL STORM WATER SHALL BE KEPT SEPARATE FROM SANITARY LINES.
14. ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CITY OF COLUMBUS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.

FLOOD NOTE

THIS SITE DOES NOT LIES WITHIN SPECIAL FLOOD HAZARD ZONE "A" (AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN) AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR BARTHOLOMEW COUNTY, INDIANA, COMMUNITY NUMBER, 180005C129, DATED DECEMBER 9, 2014.

STORM SEWER TABLE (PRIVATE SYSTEM)

STR #	TC/GUT*	STRUCTURE TYPE	CASTING TYPE	INVERTS	DOWNSTREAM PIPE INFORMATION	DOWNSTREAM STRUCTURE	DETAIL ON SHEET #
100	624.10	DIVERSION MANHOLE	NEENAH R-4832-B	W, NE, SW=616.50, SE=616.00(WF)	EX. 18" RCP	EXIST. 18" STUB	
101	624.10	MANHOLE	NEENAH R-4832-B	W, E=616.73	67 LF OF 15" HDPE @ 0.35%	100	C802
102	623.68	INLET	NEENAH R-3405	N, E=617.27	153 LF OF 15" HDPE @ 0.35%	101	C802
103	622.64	INLET	NEENAH R-3405	N, S=617.53	66 LF OF 12" HDPE @ 0.40%	102	C802
104	620.39	INLET	NEENAH R-3405	SE, NE=617.74	52 LF OF 12" HDPE @ 0.40%	103	C802
105	620.80	INLET	NEENAH R-3405	SW=618.00	66 LF OF 12" HDPE @ 0.40%	104	C802
106	624.10	MANHOLE	NEENAH R-4832-B	NE, SW=616.66	47 LF OF 15" HDPE @ 0.35%	100	C802
107	624.35	MANHOLE	NEENAH R-3405	N, SW=616.87	60 LF OF 15" HDPE @ 0.35%	106	C802
108	624.58	INLET	NEENAH R-3405	N, S=617.30	107 LF OF 15" HDPE @ 0.40%	107	C802
109	623.63	INLET	NEENAH R-3405	W, S=617.76	114 LF OF 12" HDPE @ 0.40%	108	C802
110	620.85	INLET	NEENAH R-3405	E=618.40	158 LF OF 12" HDPE @ 0.40%	109	C802
AS	625.00	AQUA-SWIRL AS-2	NEENAH R-1772	W=616.50	TWIN 13 LF OF 8" HDPE	100	C802

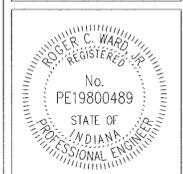
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 INDIANAPOLIS, INDIANA 46278
 (317) 251-1738 (FAX) 251-1923
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GRADING AND DRAINAGE PLAN

DRAWN BY: MKT
 DATE: 2/8/2016
 FILE NAME: AGS/002/DWG/C103
 REF:

REVISIONS:
 1-2-20-16 REVISED PER COLUMBUS COMMENTS
 2-4-16
 3-4-16

**FAIRFIELD INN & SUITES
 2820 MERCHANTS MILE
 COLUMBUS, INDIANA 47201**



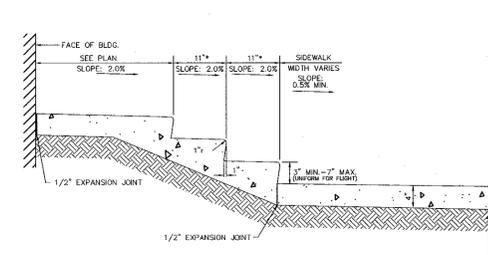
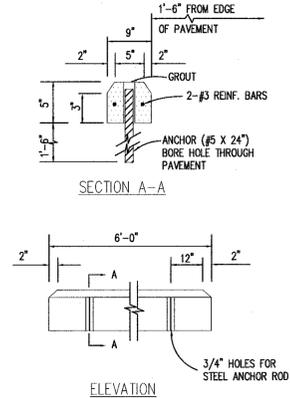
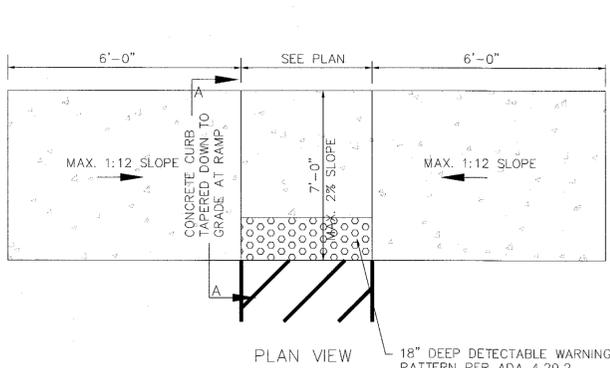
BY: *Roger C. Ward*

DATE: 2-8-2016

SHEET
C103
 OF

APPROVAL PENDING NOT FOR CONSTRUCTION

JOB#: AGS.002

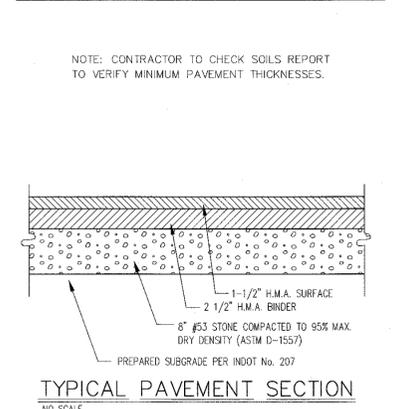
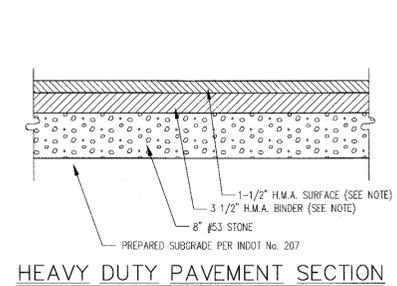
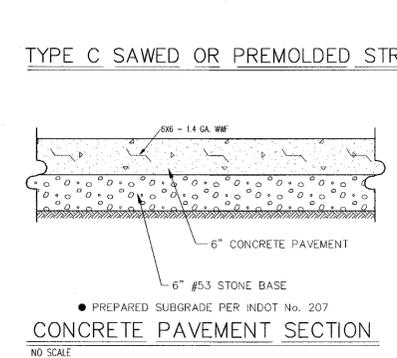
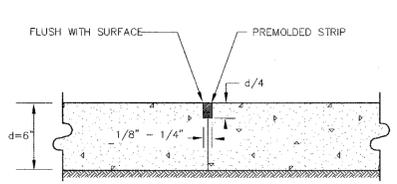
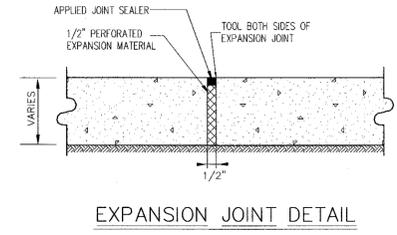


REFER TO ARCHITECTURAL PLANS.

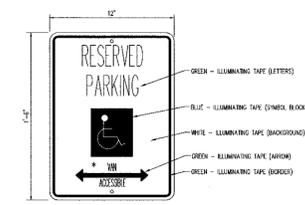
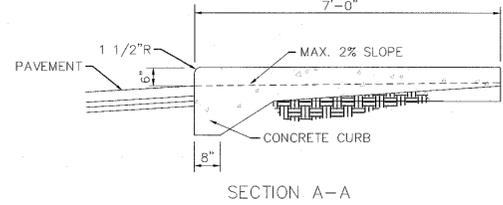
TYPICAL EXTERIOR STEP DETAIL

NOTES:

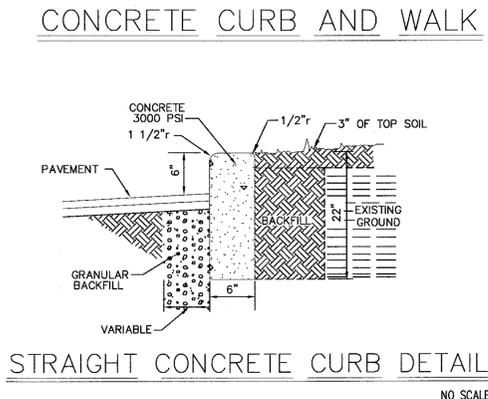
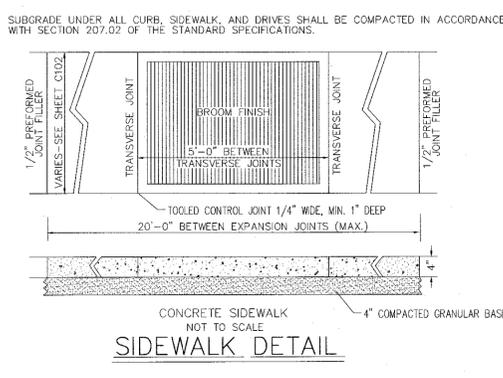
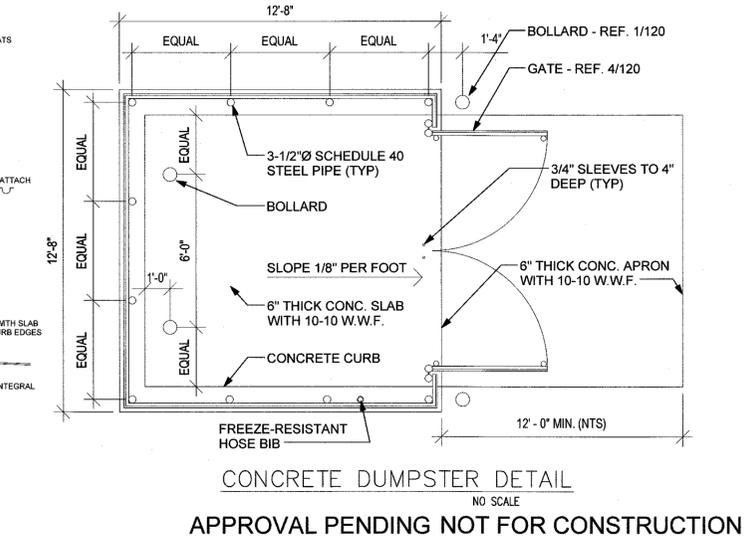
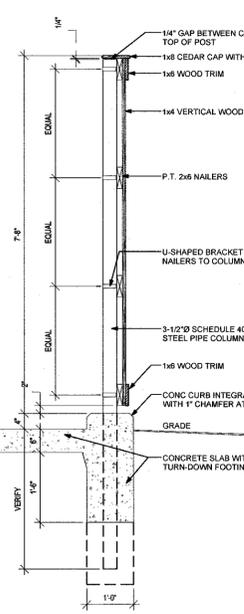
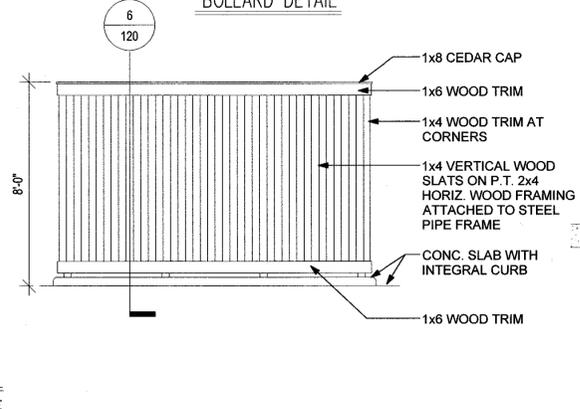
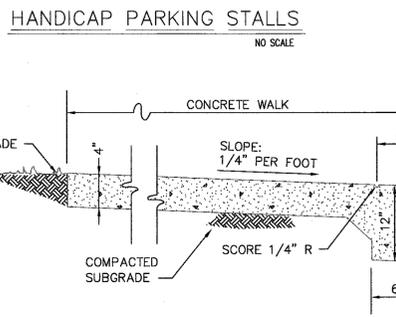
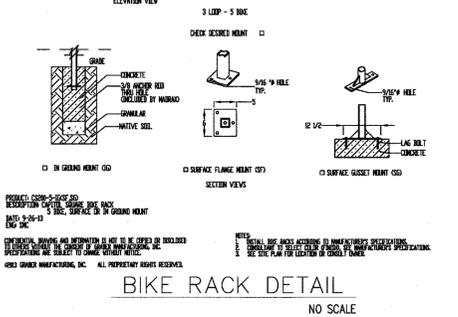
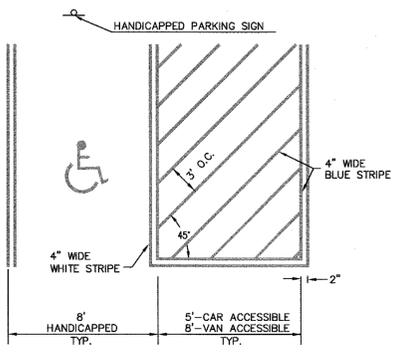
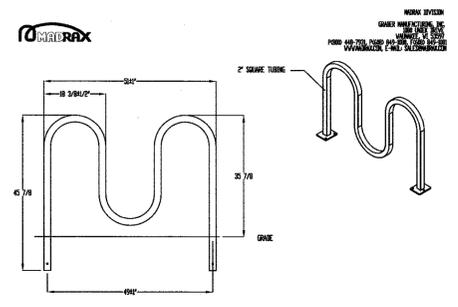
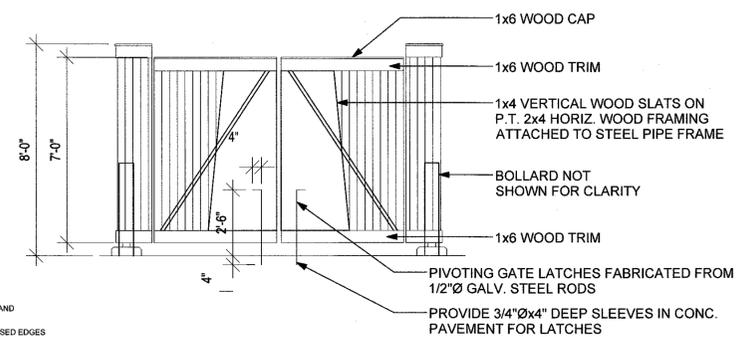
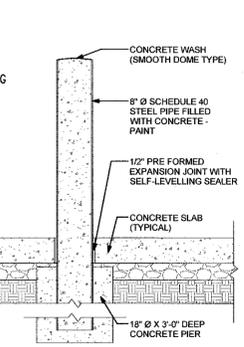
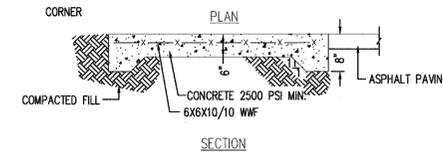
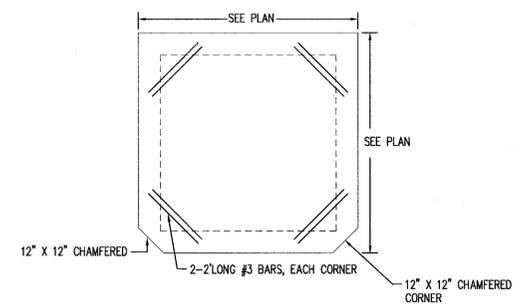
- STEPS SHALL BE AS WIDE AS THE WALK.
- TREAD RISER PROPORTION: 2R+T=26"
- HANDRAIL IS REQUIRED WHEN FLIGHT RISE EXCEEDS 30"
- REFER TO THE SITE PLAN FOR THE TREADS AND RISERS REQUIRED FOR THE FLIGHT.
- CHEEK WALLS ARE REQUIRED FOR STEPS OF THREE OR MORE RISERS EXCEPT WHERE REAR INTERSECTION OF TREADS AND RISERS IS AT LEAST 2' ABOVE GRADE.
- VERIFY THE STEP CONFIGURATION AND LAYOUT OF THIS DETAIL WITH ARCHITECTURAL PLANS.



NOTE: CONTRACTOR TO CHECK SOILS REPORT TO VERIFY MINIMUM PAVEMENT THICKNESSES.



PRECAST CONCRETE WHEELSTOP
NO SCALE



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GENERAL DETAILS

DRAWN BY: MKT
DATE: 2/20/2016
FILE NAME: 4657402.DWG/201
REF:

REVISIONS:
1
2
3
4

FAIRFIELD INN & SUITES
2820 MERCHANTS MILE
COLUMBUS, INDIANA 47201

REGISTERED PROFESSIONAL ENGINEER
No. PE19800489
STATE OF INDIANA
PROFESSIONAL ENGINEER

BY: *Roger Ward*
DATE: 2-8-2016

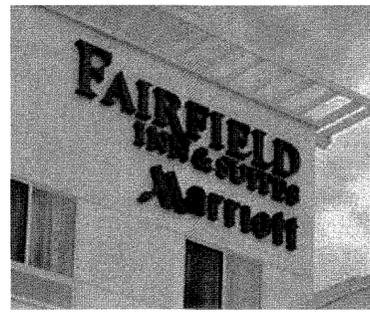
SHEET
C801
OF

JOB#: AGS.002

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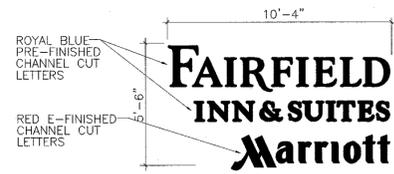


TYPE "B" GROUND SIGN



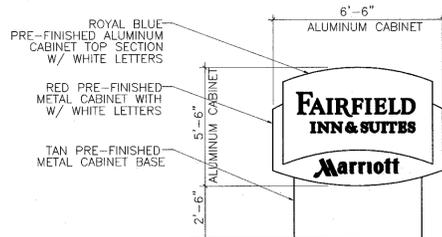
TYPE "D" FRONT YARD WALL SIGN

SIGN EXAMPLES



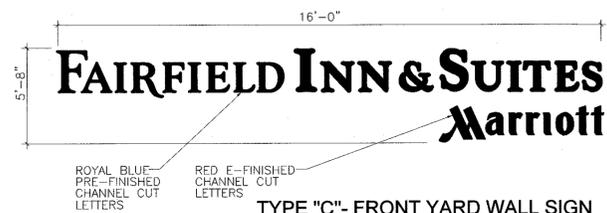
TYPE "A"- END WALL SIGN

24"H AND 16"H PRE-FINISHED ALUM CHANNEL CUT LETTERS INTERNALLY ILLUMINATED



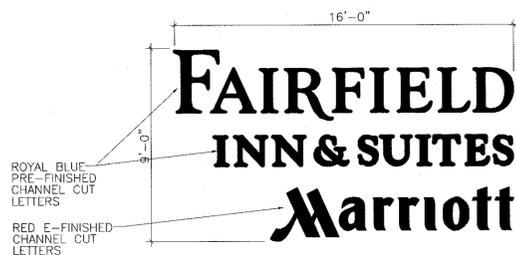
TYPE "B"- GROUND SIGN SINGLE SIDE

PRE-FINISHED ALUM. CAN SIGN AND BASE INTERNALLY ILLUMINATED



TYPE "C"- FRONT YARD WALL SIGN

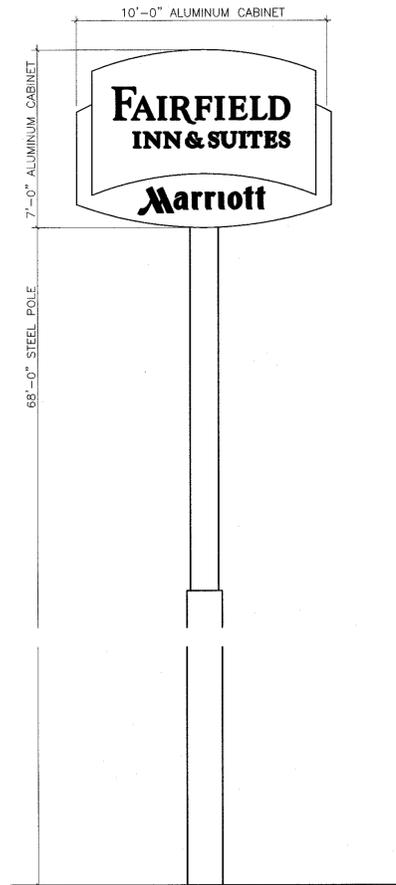
24"H AND 16"H CHANNEL CUT ALUMINUM LETTERS INTERNALLY ILLUMINATED



TYPE "D"- FRONT YARD WALL SIGN

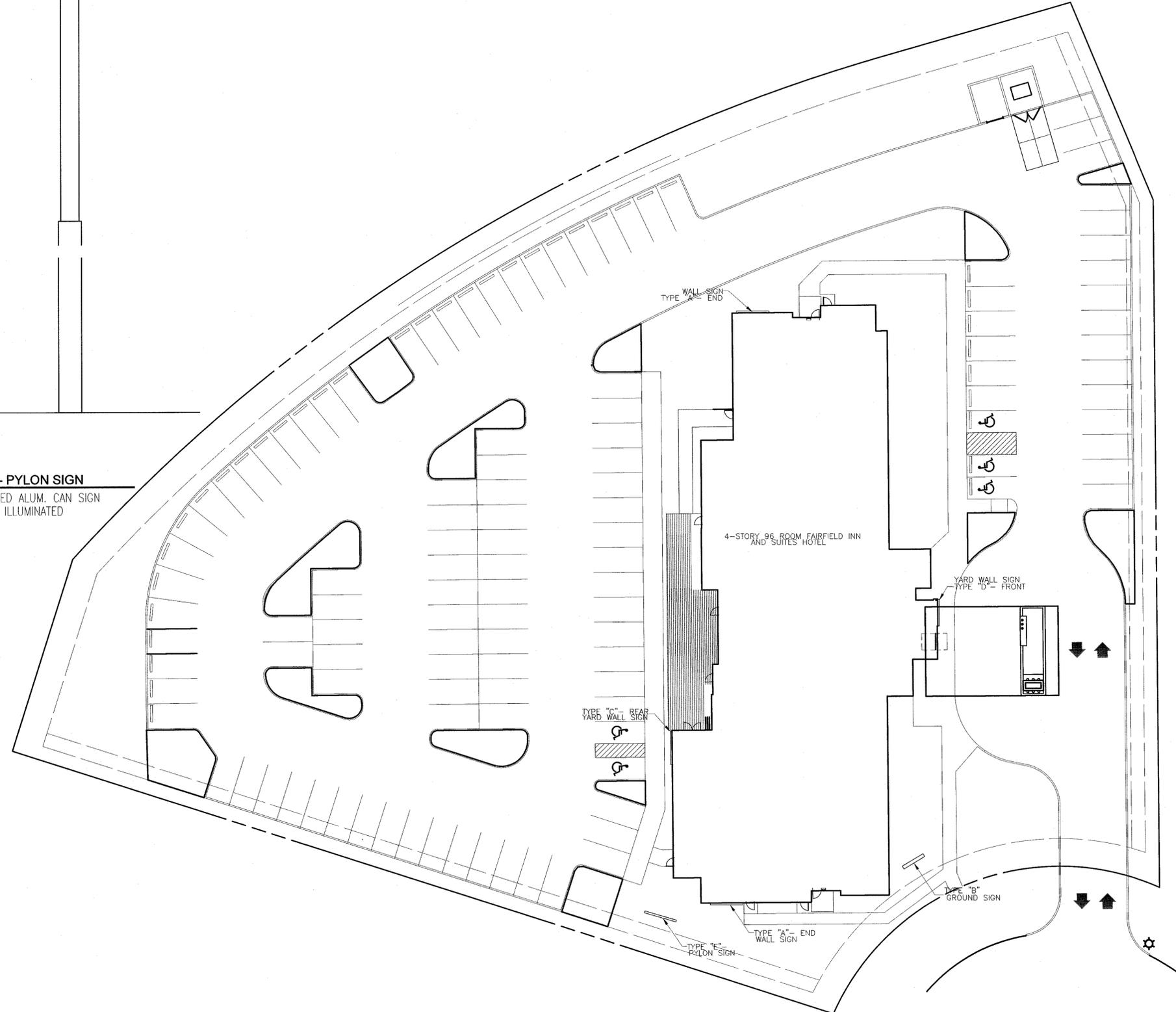
36"H AND 24"H CHANNEL CUT ALUMINUM LETTERS INTERNALLY ILLUMINATED

2 SIGNAGE ELEVATIONS
SCALE: 1" = 20'-0"



TYPE "E"- PYLON SIGN

PRE-FINISHED ALUM. CAN SIGN INTERNALLY ILLUMINATED



1 SITE SIGNAGE PLAN
SCALE: 1" = 20'-0"

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL SIGNED AND SEALED DOCUMENT

PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.M.C.
DRAWN BY: D.M.C.
DRAWER NO: X

REVISIONS:
No. Description Date

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE: SCHEMATIC DESIGN
PROJECT PROGRESS: © 2016 QMA - Quinn McAllister Architects
SHEET DESCRIPTION: SITE SIGNAGE PLAN
SHEET NUMBER: A-100

16-001 Fairfield Inn & Suites-Gen 4 - South Columbus, Indiana\000 - XREFS\VR Floor Plans.dwg - sara - Thursday February 25, 2016, 8:46am - Copyright 2016

Drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.



Quinn McAllister Architects

1300 S. Douglas Blvd. Suite 200 Midwest City, OK. 73130 Phone: 405.732.0343 Fax: 405.737.3577 www.qmaarchitects.com

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PROJECT NO: 16-001 ISSUE DATE: 02/5/2016 PROJECT MANAGER: D.McA DRAWN BY: D.McA DRAWER NO: x

REVISIONS:

Table with 3 columns: No., Description, Date

96 Room Fairfield Inn & Suites LOT 7B COLUMBUS CROSSING PUD South Columbus, Indiana

PROJECT PHASE: SCHEMATIC DESIGN

PROJECT PROGRESS: © 2014 QMA - Quinn McAllister Architects

SHEET DESCRIPTION:

SHEET NUMBER:

The drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.

McGraw-Edison

DESCRIPTION

The Ventura™ LED area luminaire provides uncompromising optical performance and outstanding versatility for a wide variety of area and roadway applications. Patent pending modular LightBAR™ technology delivers uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and any security lighting application. UL/ULC Listed for wet locations.

Table with 2 columns: Catalog #, Type, Project, Date, Comments, Prepared by

SPECIFICATION FEATURES

Construction Die-cast aluminum frame secures thermally conductive, extruded aluminum heat sink to independent electrical chamber. Heavy-wall, die-cast aluminum housing and door isolates driver components for cooler operation. The unique construction allows for passive cooling and natural cleaning of the extruded heat sink ensuring reliable operation at 40°C high ambient conditions. Stainless steel fasteners and hinges allow access to electrical components for installation and maintenance. Optional tool-less hardware available for ease of entry into electrical chamber.

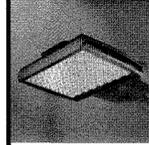
Optics Choice of twelve patented, high-efficiency AccuLED Optics™ distributors. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common- and differential-mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Mounting Cast aluminum 6" arm includes bolt guides allowing for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter for contractor friendly arrival of product on site. Optional internal mast arm mount accepts a 1-1/4" to 2" O.D. horizontal tenon, while a two-bolt clamping mechanism secures fixture. Cast in leveling guides provide +/- 5° vertical leveling adjustment. Tenon adapters available to slipfit over poles equipped with 2-3/8" or 3-1/2" O.D. tenon. 3G vibration rated.

Finish Cast components and arm finished in super TFC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty Five-year warranty.



VTS VENTUS LED

2 - 12 LightBARs Solid State LED

AREA LUMINAIRE



CERTIFICATION DATA ENEC Listed LAMPY LAMP Compatible IP66 LightBARS 3G Vibration Rated EnergyLight Consortium™ "Qualified" ENEC 9001

ENERGY DATA Electronic LED Driver 0.9+ Power Factor <2% Total Harmonic Distortion 120-277V/50Hz & 208V, 347V/60Hz, 480V/60Hz -40°C Minimum Temperature 50°C Ambient Temperature Rating 50°C Ambient Temperature Rating IHA option

SHIPPING DATA Approximate Net Weight: (See Fabricated Reference Data)

170000050N 2016-01-13 14:00:05

DIMENSIONS

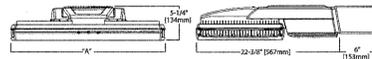
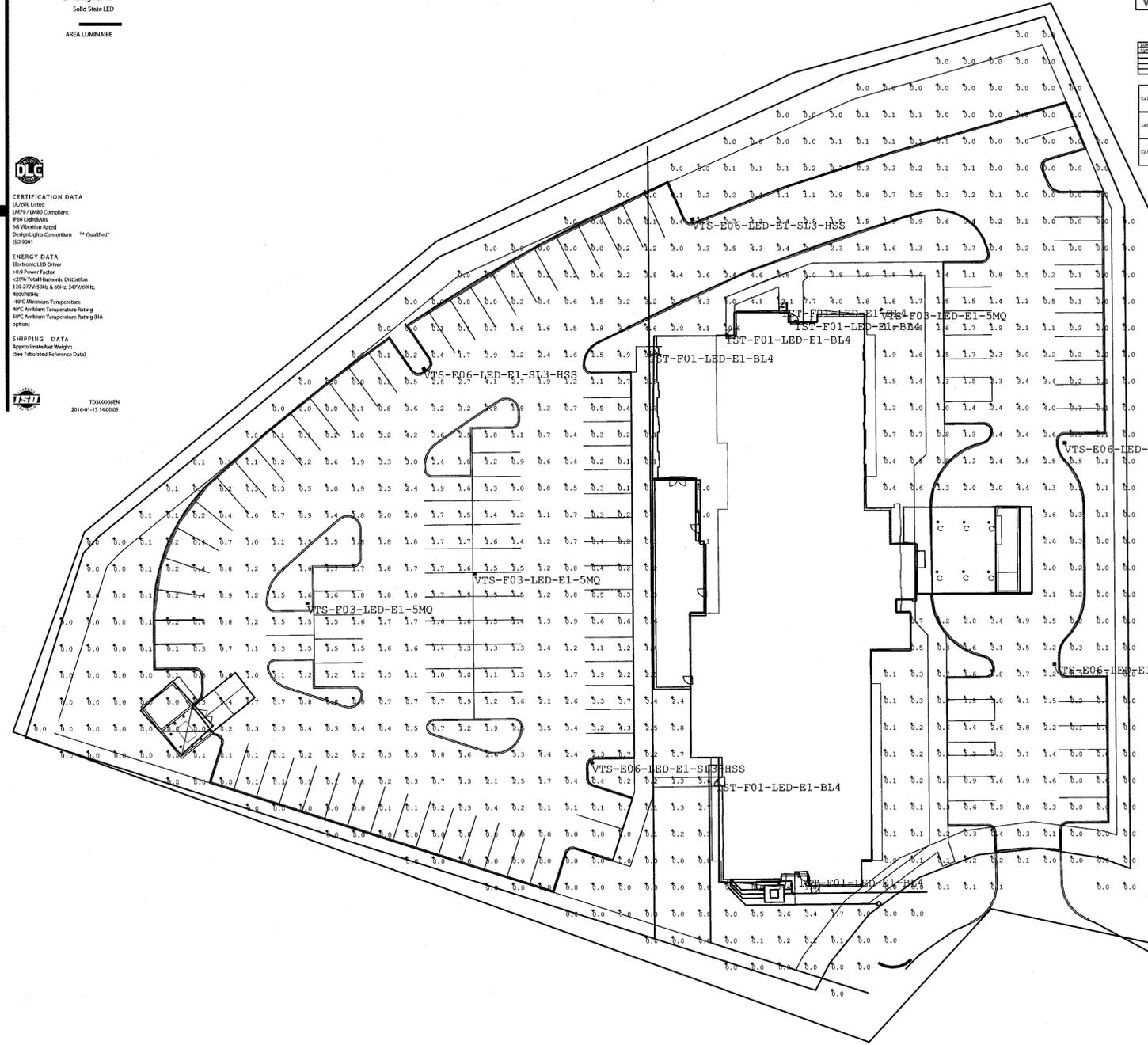


Table with 4 columns: DIMENSIONAL DATA, 'A' Width, Weight, EPA (Square Feet)



Powering Business Worldwide

www.dielights.com

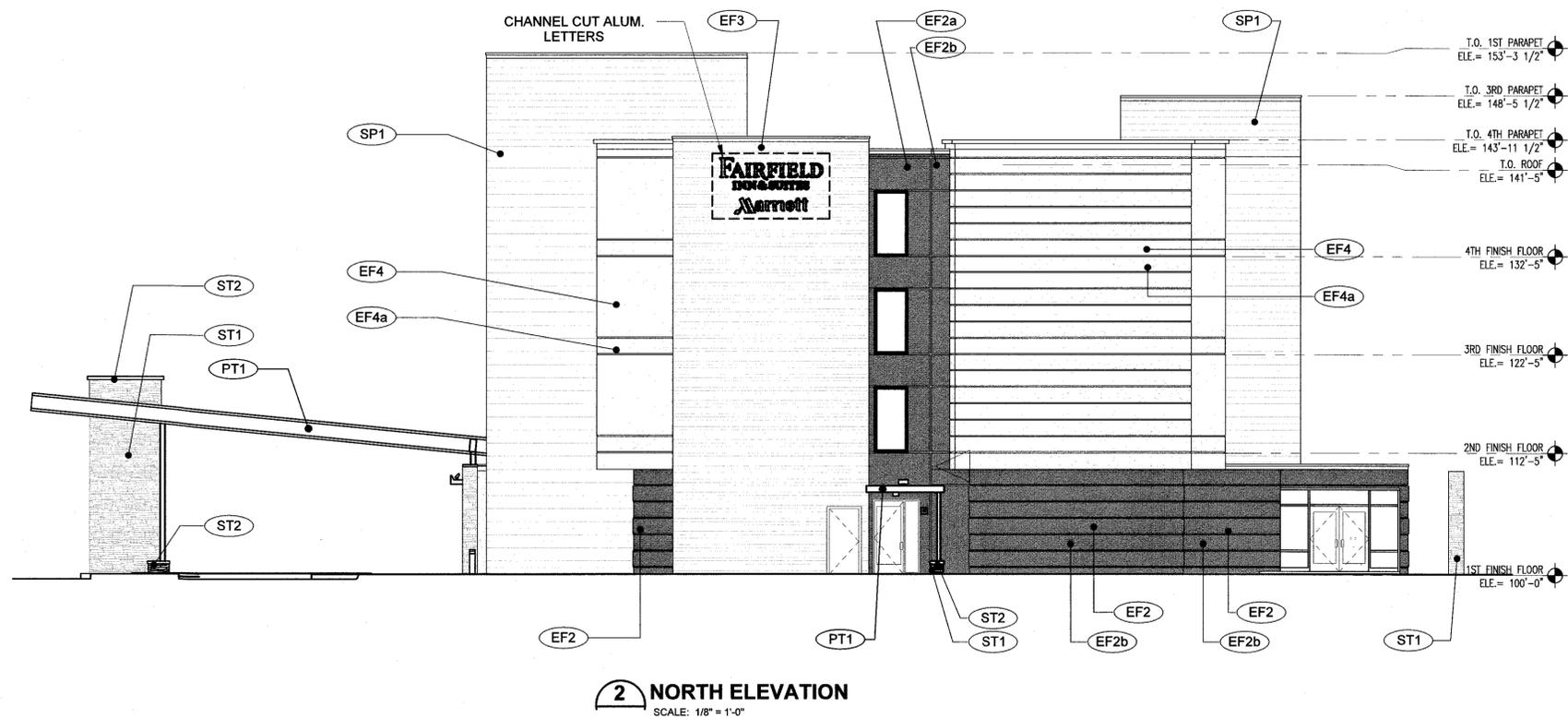


LUMINAIRE SCHEDULE table with columns: CALLOUT, DESCRIPTION, MANUFACTURER, MODEL, LAMPS, WATTS, NOTES

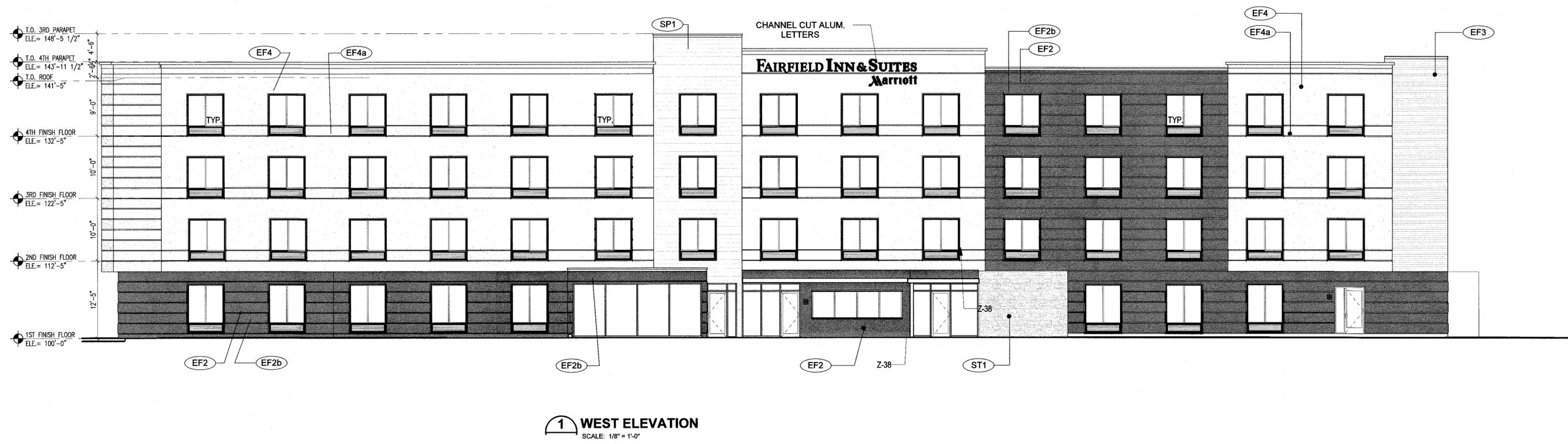
Table with 2 columns: Description, Value

Calculation Summary table with columns: Label, Callout, Situation, FC, Avg, Max, Min, Avg/Max, Max/Min

6-001 Fairfield Inn & Suites - Gen 4 - South Columbus, Indiana\000 - XREFS\VR Exterior Building Elevations.dwg - sra -- Tuesday February 23, 2016, 3:56pm -- Copyright 2016



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY

- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF2a ACCENT EIFS COLOR
- EF2b DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAIR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- ST2 COPING
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN - SOLID PHENOLIC BOARD SIDING - CEMENT BOARD SIDING (OPTION)
- PT1 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIAS, ETC.

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Midwest City, OK, 73130
Phone: 405.732.0343
Fax: 405.737.3577
www.qmaarchitects.com

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PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.McA
DRAWN BY: D.McA
DRAWER NO: x

REVISIONS:

No.	Description	Date
1	REVISION PER PUD COMMENTS	2-25-16

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE: SCHEMATIC DESIGN
PROJECT PROGRESS: © 2014 QMA - Quinn McAllister Architects
SHEET DESCRIPTION: NORTH & WEST EXTERIOR ELEVATIONS

SHEET NUMBER:
A-301

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PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.McA
DRAWN BY: D.McA
DRAWER NO: x

REVISIONS:

No.	Description	Date
1	REVISIONS PER PUD COMMENTS	2-25-16

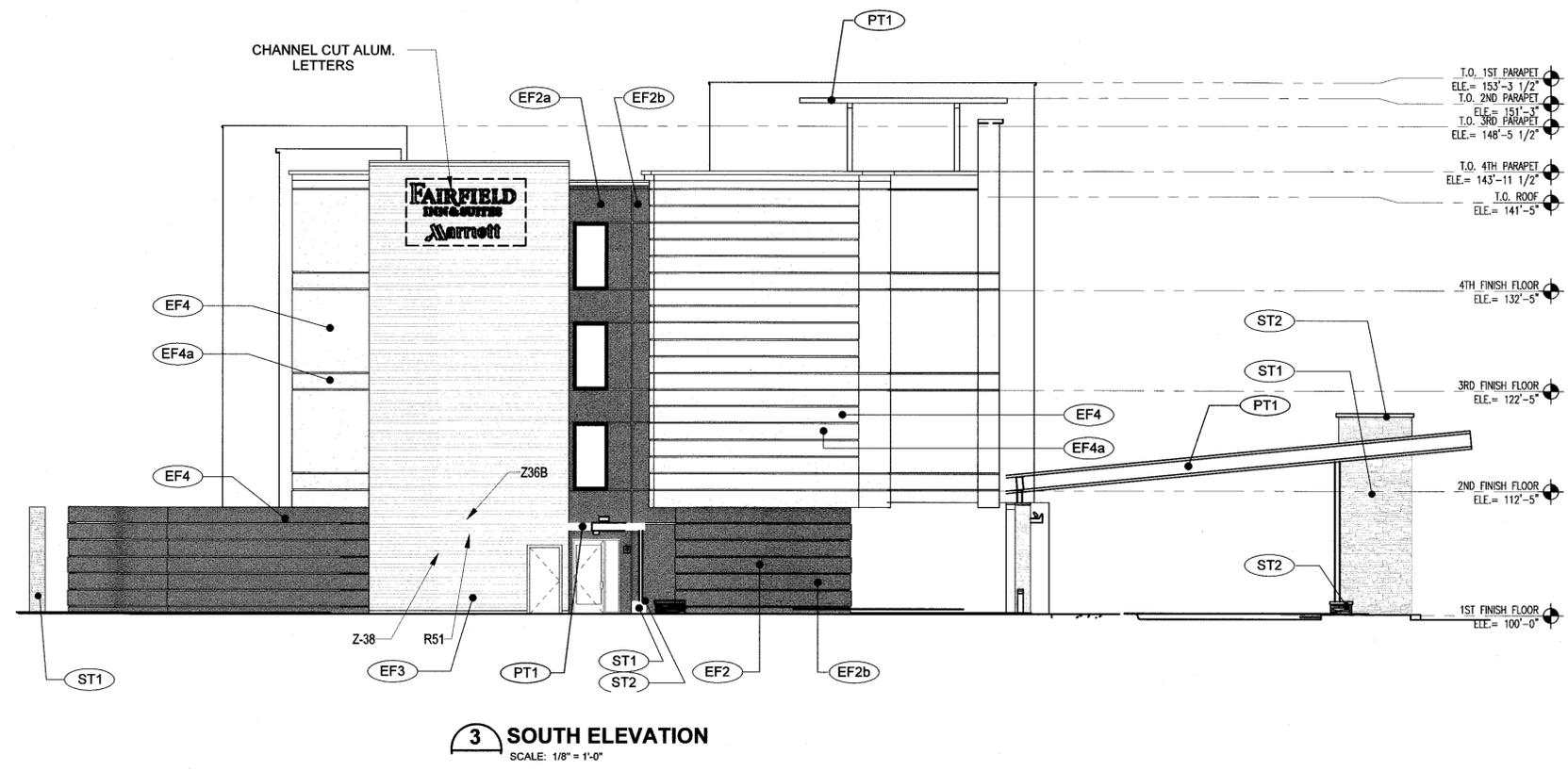
96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE:
SCHEMATIC DESIGN
PROJECT PROGRESS:
© 2016 QMA - Quinn McAllister Architects

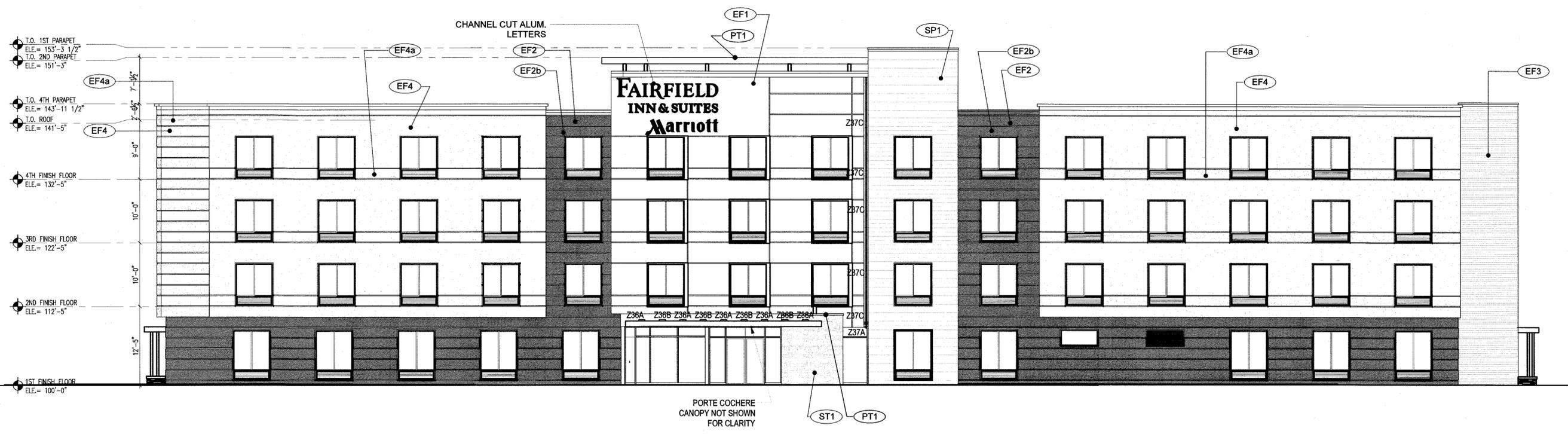
SHEET DESCRIPTION:
EXTERIOR ELEVATIONS
SHEET NUMBER:
A-302

EXTERIOR FINISH KEY

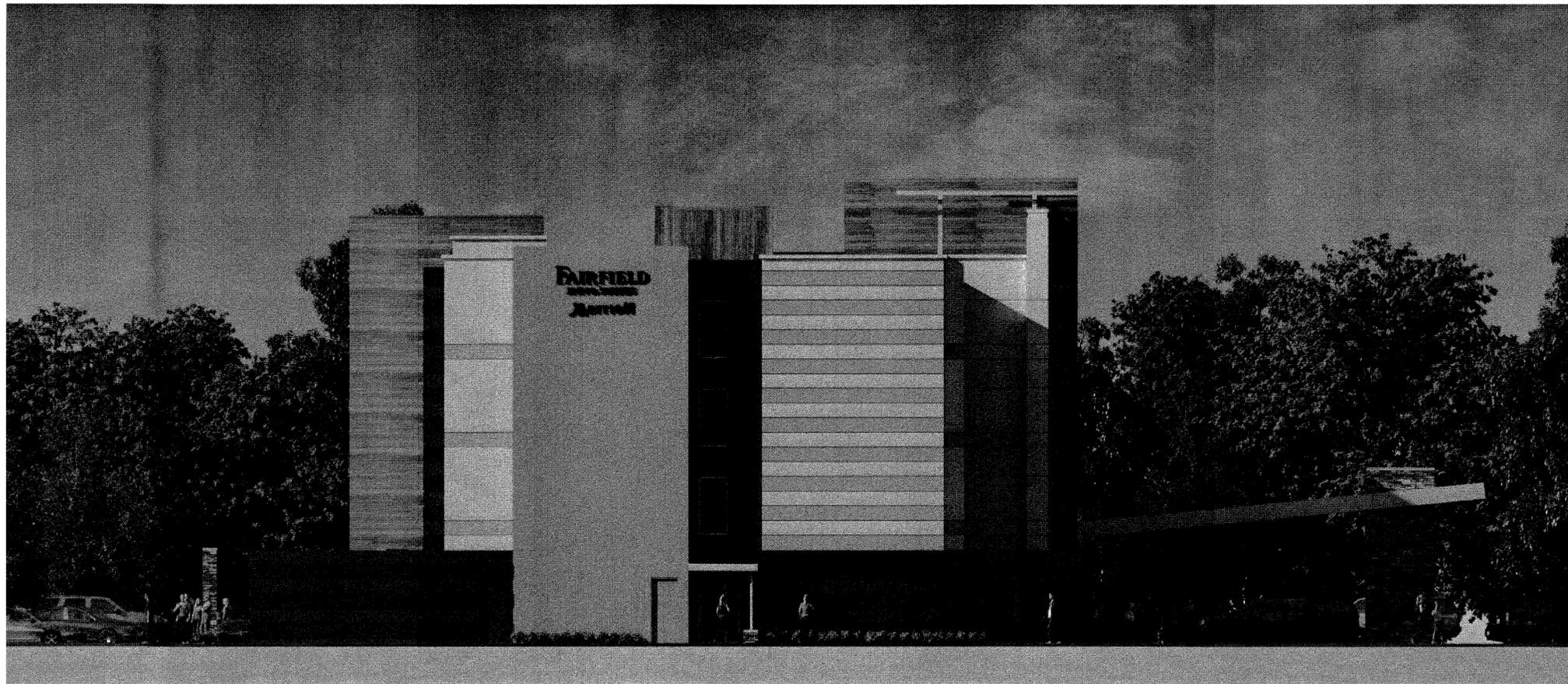
- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF2a ACCENT EIFS COLOR
- EF2b DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAIR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- ST2 COPING
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN
- SOLID PHENOLIC BOARD SIDING
- CEMENT BOARD SIDING (OPTION)
- PT1 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIAS, ETC.



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION



EAST ELEVATION



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REVIEW SET

PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.M.A.
DRAWN BY: D.M.A.
DRAWER NO: *

REVISIONS:
No. Description Date
1 REVISIONS FOR PUD COMMENTS 2-25-16

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE:
SCHEMATIC DESIGN

PROJECT PROGRESS:
© 2014 QMA - Quinn McAllister Architects

SHEET DESCRIPTION:
COLORED SOUTH & EAST ELEVATIONS

SHEET NUMBER:
A-303



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PROJECT NO: 16-001
ISSUE DATE: 02/25/2016
PROJECT MANAGER: D.M.A.
DRAWN BY: D.M.A.
DRAWER NO: x

REVISIONS:
No. Description Date
1 REVISIONS PER PLOT COMMENTS 2/25/16

96 Room Fairfield Inn & Suites LOT 7B COLUMBUS CROSSING PUD

South Columbus, Indiana

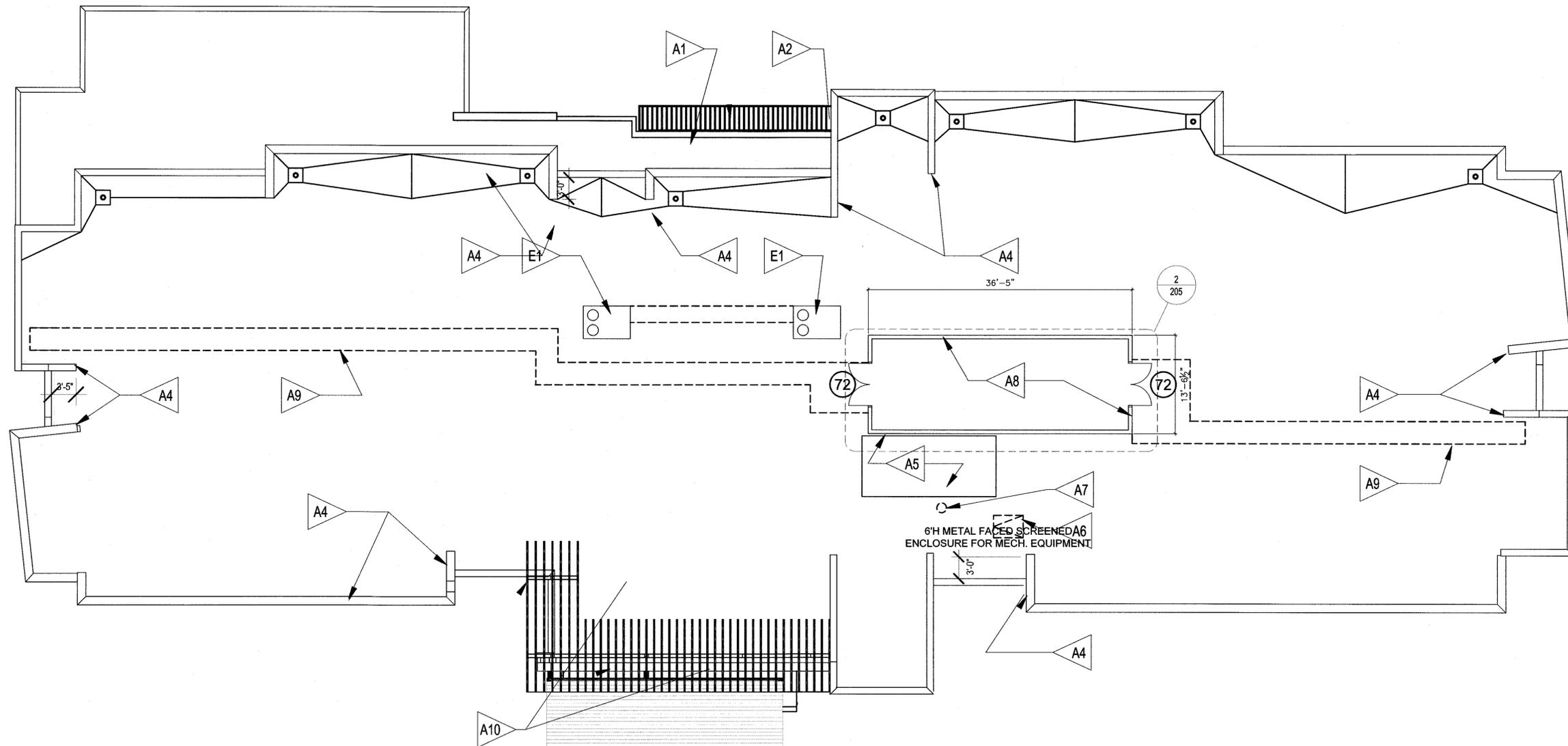
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SCHEMATIC DESIGN

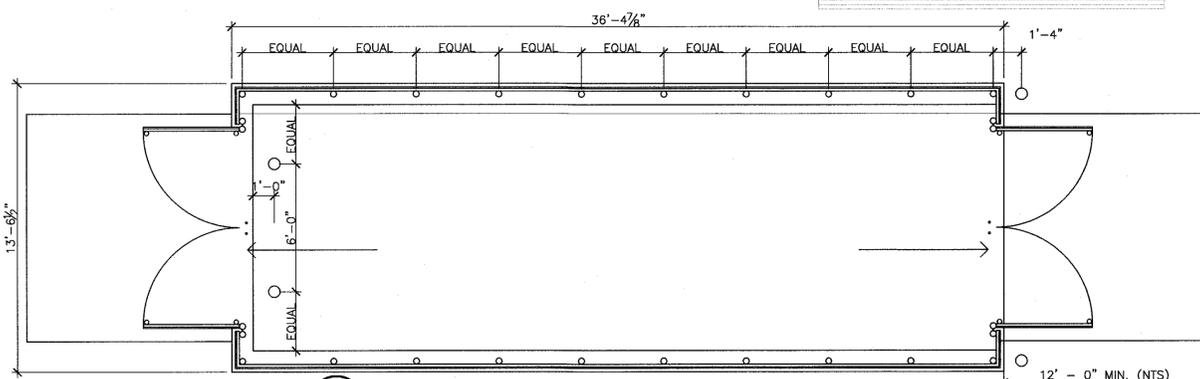
PROJECT PROGRESS:
© 2014 QMA - Quinn McAllister Architects

SHEET DESCRIPTION:
ROOF PLAN

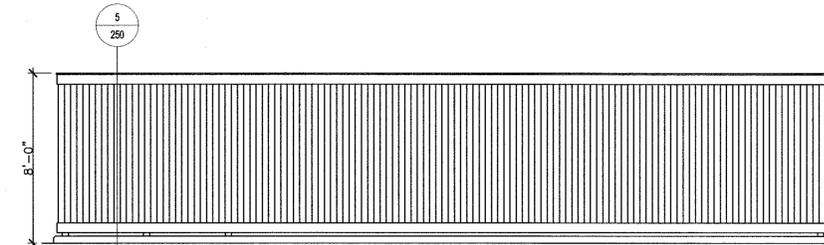
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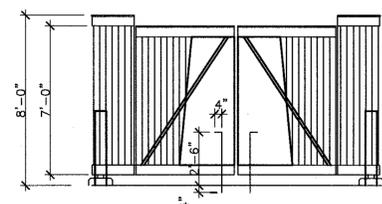
1 ROOF PLAN
SCALE: 1/8" = 1'-0"
PLAN TRUE
NORTH NORTH



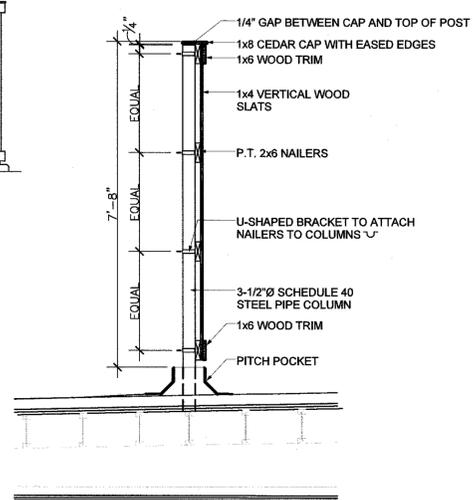
2 ENLARGED ROOFTOP SCREEN
SCALE: 1/4" = 1'-0"



3 ROOFTOP SCREEN
SCALE: 1/4" = 1'-0"



4 ROOFTOP SCREEN
SCALE: 1/4" = 1'-0"



5 ROOFTOP SCREEN DETAIL
SCALE: 1/2" = 1'-0"

drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.