



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (September 14, 2016 Meeting)

Docket No. / Project Title: PUDF-16-09 (Fairfield Inn & Suites)
Staff: Melissa Begley

Applicant: Fairfield Inn & Suites
Property Size: 2.264 Acres
Current Zoning: PUD (Planned Unit Development)
Location: Lot 7B is located at the west end of the Merchants Mile cul-de-sac, north of the Chevrolet of Columbus property.

Background Summary:

Fairfield Inn & Suites is requesting to modify their previously approved Final PUD Plan for Lot 7B of Columbus Crossing. They are proposing to increase the size of the conference space, add 10 additional parking spaces and change the ground floor exterior material from EIFS to cultured stone.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application:

1. Is the proposed Final PUD Plan consistent with the Preliminary PUD Plan?
2. Is the building of a "quality design" as required by the Preliminary PUD approval?

Preliminary Staff Recommendation & Comments:

Approval of the increased conference space, additional parking spaces and cultured stone on the ground floor; this is consistent with the Columbus Crossing Preliminary PUD Plan. Approval should be contingent upon the following technical comments being addressed:

1. Provide revised landscape calculations in the Planting Calculation Table for Area #2 – Parking Lot Interior and Area #4 - Lot Interior Foundation Plantings Landscaping.
2. Provide the lighting cut sheets on the lighting plan and revise the lighting so that it does not exceed 0.1 foot candles at the PUD boundary.
3. Update the index on the cover page to reflect the actual pages in the site plan package. Omit pages 104 and 802 from the plans and include color elevations for the North and West facades.

Plan Commission Options: In reviewing a request for a *final PUD* the Plan Commission may (1) approve the request, (2) deny the request, or (3) continue the review to the next Plan Commission meeting. The Plan Commission may request modifications to the proposed detail PUD.

Current Property Information:	
Land Use:	Undeveloped Lot
Site Features:	Vacant Lot

Flood Hazards:	The 500 year floodplain is present on the property, however the proposed building site is not located in the floodplain.
Special Circumstances: (Airport Hazard Area, Wellfield Protection Area, etc.)	No special circumstances exist on the property.
Vehicle Access:	Merchant's Mile (Local, Commercial, Suburban)

Surrounding Zoning and Land Use:		
	Zoning:	Land Use:
North:	NA	Interstate 65 off-ramp
South:	PUD (Planned Unit Development)	Chevrolet of Columbus
East:	PUD (Planned Unit Development)	Vacant Lot
West:	NA	Interstate 65

Proposal / General Standards Summary:

The following table compares the proposed features of the development proposed to be revised with the standards established by the Preliminary PUD and in a comparable zoning district. A check mark indicates that the proposal is consistent with these general standards. All project features must follow the Preliminary PUD, but additions to these requirements are subject to the discretion of the Plan Commission.

Criterion/Status	Summary of PUD Proposal	Summary of Preliminary PUD Requirements	Summary of CR Zoning District Requirements
Building Setbacks:	<p>Front Yard Setback: 10 feet (Merchant's Mile 24 feet (I-65))</p> <p>Side Yard Setback: 10.43 feet & 35 feet</p>	<p>Front Yard Setback: As determined by the Plan Commission (typically 25 to 50 feet)</p> <p>Side Yard Setback: As determined by the Plan Commission (typically 10 feet)</p> <p>Rear Yard Setback: As determined by the Plan Commission (typically 10 feet).</p>	<p>Front Yard Setback: 10 feet</p> <p>Side Yard Setback: 10 feet</p> <p>Rear Setback: 10 feet</p>

Parking:	✓	<u>Vehicle Spaces:</u> 127 spaces provided, including 5 ADA spaces	None	<u>Vehicles Spaces, Hotel use:</u> 1 space required per guest room and 1 space per 100 square feet of UFA of meeting rooms. 127 parking spaces would be required for this hotel.
Lighting:		Foot candles exceeding 0.1 at the PUD boundary lines. Exterior light fixtures are shown to be 90 degree cut-off 20 foot tall lights to be proposed.	Lighting shall not exceed 0.1 foot-candles at the PUD boundary lines.	Per Section 9.4: 90 degree cut off fixtures are required. All such fixtures shall be limited to a maximum total height of 25 feet. Each freestanding light fixture may be provided with a base up to 36 inches in height, which will not be included in the total height measurement.

Interdepartmental Review:	
City Utilities:	No comments received.
Fire Department:	No comments received.
Code Enforcement:	No comments received.
City Engineer:	We have no comments on the proposed changes at this time.

History of this Location:

The relevant history of this property includes the following: The relevant history of this property includes the following:

1. A portion of Columbus Crossing received partial PUD rezoning and preliminary PUD approval in 2001 (PUD-01-02) and the remainder received partial preliminary PUD rezoning and approval in 2002 (PUD-02-01). The Preliminary PUD Plan approval was completed in 2003 (PUD-02-11). The total development consists of approximately 169.95 acres.
2. A Final PUD Plan was approved for Fairfield Inn & Suites by the Plan Commission on March 9, 2016 (PUDF-16-01).

Comprehensive Plan Consideration(s):

The Future Land Use Map indicates the future use of this property as commercial.

The following Comprehensive Plan goal(s) and/or policy(ies) apply to this application:

- **POLICY A-2-16:** Promote simple, objective design standards (not an architectural review committee) for commercial, industrial, and institutional development. *Because the appearance of the community is important, the City needs to promote design standards that will lead to attractive development. These standards might include such things as variations in roof lines or building facades, requirements for windows, or standards for the placement of buildings on their lots.*
- **POLICY E-2-1:** Encourage development of these corridors in a manner that is visually appealing. *Highway corridors greatly impact the appearance of a community. Because community appearance is important to local residents, the city should encourage these corridors to be developed in a manner that enhances community appearance. Elements to be considered include landscaping, screening or outdoor storage and display, appearance of buildings, design of parking areas, and others.*
- **POLICY E-2-3:** Establish objective design standards (not an architectural review committee), to encourage development with appropriate landscaping, parking, setbacks, visually appealing buildings, and attractive and effective signage. *Design standards could include such things as requirements for variations in building facades, roof lines, materials, colors, and limitations on outside storage.*

This property is located in the Western Gateway character area. The following Planning Principle(s) apply to this application: In order to reflect the importance of this area as the city's primary entry, design standards should be adopted for layout, buildings, landscaping, signs, and lighting.

Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. The applicant is proposing to revise their approved Final PUD Plan for a 50,928 square foot, 4 story hotel. Specifically, they are proposing to increase the size of the conference space from 1,828 square feet to 3,097 square feet, add 10 additional parking spaces and change the ground floor exterior material from EIFS to cultured stone. The hotel will consist of 96 guest rooms and conference meeting rooms. The site will be accessed from Merchants Mile and the orientation of the building faces east.
2. Final PUD Plans at the Columbus Crossing PUD requires review and approval by the Plan Commission. The Zoning Ordinance contains a provision for incidental revisions the plans to be reviewed and approved administratively (a Minor Modification) if there is not a change in use, any alteration of the development standards, or a change in vehicle or pedestrian circulation or access. In this case, the proposed larger meeting space results in the building moving closer to the southern property line by 13 feet, which is a change in development standards (building setback).
3. The Columbus Crossing Planned Unit Development (PUD) was established in 2003 as a means to ensure quality development at the Interstate 65 and State Road 46 front door of the Columbus community. All properties located in the Columbus Crossing PUD are regulated by the design requirements of the Columbus Crossing Preliminary PUD. All site development plans proposed for these properties must be approved by the City of Columbus Plan Commission as Final PUD Plans. The Preliminary PUD lists guidelines and some specific requirements for site development in this PUD however the Plan Commission has the authority to require design changes to reflect the desired quality of the PUD development.
4. The Preliminary PUD Plan provides design guidance for the architecture of the building. The requirement of the Preliminary PUD is that the front sides of all retail buildings over 50,000 square feet in gross floor area shall be brick or an equivalent material determined through the final PUD plan review process for each building. Other facades of these buildings shall be designed with appearance in mind, recognizing that the buildings will be highly visible from multiple angles. Typically the Plan Commission requires buildings of all sizes, even those under 50,000 square feet, to use quality building materials such as brick, Quik Brik, stone, EIFS (stucco), architectural metal, and split-face CMU (concrete masonry units) on all sides. All building sides should be designed to a consistent level

of quality; 360° architecture. Additionally, buildings on lots with frontage on Merchants Mile should be oriented towards Merchants Mile.

5. The applicants are proposing EIFS as the primary material on the building façades. They are proposing to add cultured stone to the entire ground floor of the building, in addition to the cultured stone on the porte cochere. The previously approved Final PUD Plan included EIFS on the ground floor of the building.
6. The increased meeting room space changes the parking space requirement from 117 parking spaces to 127 parking spaces, which have been provided on the revised Final PUD Plan.

Decision Criteria:

When considering a request for *final PUD* approval the Plan Commission shall pay reasonable regard to the following:

1. The extent to which the proposal is consistent with the approved Preliminary Plan;
2. The extent to which the proposal fulfills the requirements and intent of Article 5 of the Zoning Ordinance; and
3. The Comprehensive Plan and any other applicable, adopted planning studies or reports.

**Columbus – Bartholomew County Planning Department
Planning Unit Development (PUD) Application**

Planning Department Use Only:

Jurisdiction: Columbus Bartholomew County Joint District

Docket No.: PUDF-16-09

Planned Unit Development (PUD) Application:

Application Type Preliminary PUD Plan Final PUD Plan & Rezoning
 Minor Modification Major Modification (a Preliminary or Final PUD Revision)

PUD Title: Fairfield Inn & Suites (PUDF-16-01)

Applicant Information (the person or entity that will own and/or execute what is proposed):

Name Amit Patel

Address 101 Carrie Lane Columbus IN 47201
(number) (street) (city) (state) (zip)

Phone No.: 812-219-6034 Fax No.: 877.845.6676 E-mail Address: apatel@ags-pe.com

Property Owner Information (the "owner" does not include tenants or contract buyers):

Name: AGS Columbus, LLC

Address 101 Carrie Lane Columbus IN 47201
(number) (street) (city) (state) (zip)

Phone No.: 812-219-6034 Fax No.: 877-845-6676 E-mail Address: apatel@ags-pe.com

Property Information:

Property Size: 2.27 acres *or* _____ square feet

Address 2820 Merchants Mile Columbus IN 47201
(number) (street) (city) (state) (zip)

or General Location (if no address has been assigned provide a street corner, subdivision lot number, etc):

A legal description is attached.
(a legal description is required for the processing of all *Final PUD Plan* requests).

The PUD document is attached.
(refer to Columbus & Bartholomew County Zoning Ordinance Section 5.3(B) for Preliminary PUD Plan requirements and Section 5.4(B) for Final PUD Plan & Rezoning Requirements)

Notification Information (list the person to whom all correspondence regarding this application should be directed):

Name: Darrell McAllister, Architect

Address 1390 South Dougls Blvd Midwest City OK 73130
(number) (street) (city) (state) (zip)

Phone No.: 405-732-0343 Fax No.: 405-732-3577 E-mail Address: darrell@gmaarchitects.com

How would you prefer to receive information (please check one): Email Phone Fax Mail

Applicant's Signature:

The information included in and with this application is completely true and correct to the best of my knowledge and belief.



8/4/2016

(Applicant's Signature)

(Date)

Owner's Signature (the "owner" does not include tenants or contract buyers):

I authorize the filing of this application and will allow the Planning Department staff to enter this property for the purpose of analyzing this request. Further, I will allow a public notice sign to be placed and remain on the property until the processing of the request is complete.



8/4/2016

(Owner's Signature)

(Date)

(Owner's Signature)

(Date)

ARCHITECT
SARAH A. HARIM
405-732-0343
sunny@gmaarchitects.com

FAIRFIELD INN & SUITES[®] Marriott

LOT 7B COLUMBUS CROSSING PUD COLUMBUS, INDIANA



FINAL PUD PLAN SUBMITAL SHEET INDEX

GENERAL

G 001 TITLE, SHEET INDEX, TEAM CONTACTS, RENDERING

SITE

C102 SITE PLAN
L101 LANDSCAPE PLAN
C103 PRELIMINARY DEVELOPMENT PLAN (GRADING, DRAINAGE AND UTILITIES)
C104 EROSION CONTROL PLAN
C801 GENERAL DETAILS
C802 GENERAL DETAILS
A100 SITE SIGNAGE PLAN / SIGNAGE DETAILS
ES02 SITE PHOTOMETRIC PLAN AND DETAILS

EXTERIOR ELEVATIONS

A301 NORTH AND WEST ELEVATIONS W/ MATERIALS NOTES
A302 SOUTH AND EAST ELEVATIONS W/ MATERIALS NOTES
A303 SOUTH AND EAST COLORED ELEVATIONS
A303a NORTH AND WEST COLORED ELEVATIONS
A304 ROOF PLAN WITH SCREENING NOTES

KEY CONTACTS

OWNER / DEVELOPER

AGS COLUMBUS LLC

PHONE: 1-812-219-6034
FAX: 1-877-845-6676

apatel@ags-pe.com

CIVIL / LANDSCAPE

ROGER WARD ENGINEERING

7474 NOEL ROAD
INDIANAPOLIS, INDIANA 46278
317-251-1738 (OFFICE)

vreyes@rw-engineering.com

STRUCTURAL

BSE ENGINEERING

11329 WEST 79TH STREET
LENEXA, KANSAS 66214
913-492-7400 (OFFICE)

cstallbaumer@bsestructural.com

ARCHITECTURAL

QMA - QUINN MCALLISTER ARCH.

1352 SOUTH DOUGLAS BLVD. SUITE 200
MIDWEST CITY, OKLAHOMA 73130
405-732-0343 (OFFICE)

darrell@qmaarchitects.com

MEP ENGINEERS

HP ENGINEERING

205 N.W. 63RD SUITE 100
OKLAHOMA CITY, OKLAHOMA 73116
405-286-9945 (OFFICE)

dustin@hpengineering.com

Site Location Map



RECORDING INFORMATION

THIS DOCUMENT WAS PREPARED BY _____, I, AFFIRM UNDER THE PENAL TIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

PRINTED NAME _____

FINAL PUD APPROVAL CERTIFICATE

THESE FINAL PLANNED UNIT DEVELOPMENT PLANS WERE APPROVED BY THE CITY OF COLUMBUS PLAN COMMISSION THIS ____ DAY OF _____, 20____.

PRESIDENT, DENNIS BAUTE

SECRETARY, DAVID FISHER



Quinn McAllister
Architects

1380 S. Douglas Blvd.
Suite 200
Midwest City, OK, 73130
Phone: 405.732.0343
Fax: 405.737.3577
www.qmaarchitects.com



PROJECT NO: 16-001
ISSUE DATE: 09/07/2016
PROJECT MANAGER: D.M.A.
DRAWN BY: S.A.H.
DRAWER NO: *

No.	Description	Date
1	REPLACED EFS WITH STONE	8/9/16
2	PARKING AND WALKS	8/9/16

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

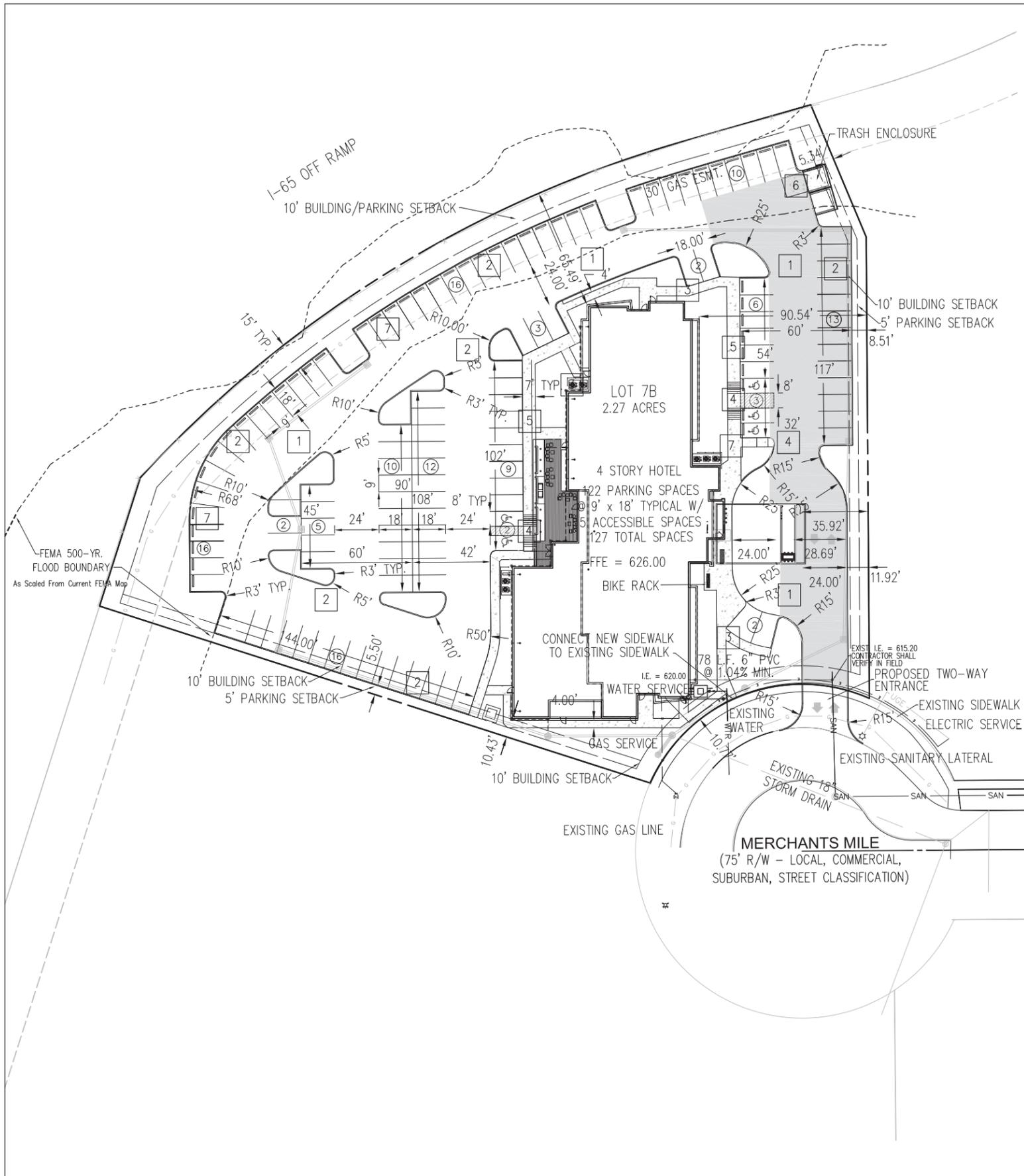
PROJECT PHASE:
CONSTRUCTION
DOCUMENTS-
APPROVAL PENDING

PROJECT PROGRESS:
© 2014 QMA - Quinn McAllister Architects

SHEET DESCRIPTION:

SHEET NUMBER:
G-001

The drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.

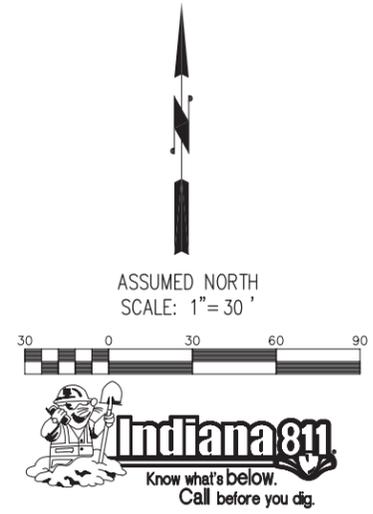


LEGEND

- SAN - EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER, INLET & M.H.
- G - EXISTING GAS LINE/GAS VALVE
- WTR - EXISTING WATER LINE
- UGT - EXISTING BURIED TELEPHONE
- UGE - EXISTING BURIED ELECTRIC
- ET - EXISTING ELECTRIC TRANSFORMER
- ES - EXISTING SIGN
- EA - EXISTING AREA LIGHT
- EH - EXISTING FIRE HYDRANT
- PSL - PROPOSED SANITARY LATERAL W/ CLEANOUT
- PRD - PROPOSED ROOF DRAIN W/ CLEANOUT
- PSI - PROPOSED STORM SEWER, INLET & M.H.
- WTV - PROPOSED WATER METER VAULT W/ VALVE & PIV
- PC - PROPOSED FIRE DEPT. CONNECTION
- 5 - NUMBER OF PROPOSED PARKING SPACES
- PB - PROPOSED PROTECTIVE BOLLARD
- SS - DENOTES PAVEMENT STRIPPING WITHIN HANDICAPPED LOADING/UNLOADING ZONE
- HC - HATCHING DENOTES CONCRETE WALKS AND PAVEMENT
- HD - HATCHING DENOTES HEAVY DUTY PAVEMENT

GENERAL NOTES

1. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO THEIR PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
2. STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AGENCY SHALL APPLY FOR ALL SANITARY SEWERS, STORM SEWERS, AND WATER MAINS.
3. ALL PARKING STRIPES ARE TO BE 4" PAINTED (WHITE), HANDICAPPED ACCESS AISLES SHALL BE 4" PAINTED (BLUE).
4. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED OTHERWISE.
5. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
6. ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
7. ALL WATER MAINS TO HAVE A 54" MINIMUM COVER OVER TOP OF PIPE.
8. WATER SERVICE LINE TO THE BUILDING SHALL HAVE A SHUT-OFF VALVE IN AN ACCESSIBLE LOCATION OUTSIDE OF THE BUILDING. UNLESS OTHERWISE DETERMINED PROPOSED WATER SERVICE LINE IS SIZED WITHOUT BUILDING BEING SPRINKLED FOR FIRE PROTECTION. FINAL WATER LINE SIZE TO BE DETERMINED BY MEP ENGINEER.
9. STERILIZATION OF WATER MAIN SHALL BE IN ACCORDANCE WITH STATE BOARD OF HEALTH REQUIREMENTS.
10. EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY PLACED BETWEEN EXPANSION JOINTS, CONTRACTION JOINTS, AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
11. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
12. SEE THIS SHEET FOR LAND DESCRIPTION.
13. ALL 6" PVC SANITARY SEWER LATERALS SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1.04%.
14. ALL LATERALS ARE REQUIRED TO HAVE TRACER WIRE INSTALLED ON THE TOP OF THE PIPE FROM THE SEWER MAIN TO THE CLEANOUT.
15. CONTRACTOR TO REFER TO SITE LIGHTING PLAN FOR LOCATION OF LIGHT POLES.
16. CONTRACTOR TO PROVIDE SUFFICIENT CONDUIT WHERE ELECTRIC LINES CROSS PAVEMENT.
17. REFER TO MEP PLANS FOR UTILITY CONNECTIONS TO PROPOSED BUILDING.



LAND DESCRIPTION

LOT 7B AS SHOWN ON THE PLAT OF COLUMBUS CROSSING IN PLAT CABINET "R", PAGE "45-0" IN THE OFFICE OF THE RECORDER OF BARTHOLOMEW

DEVELOPMENT SUMMARY

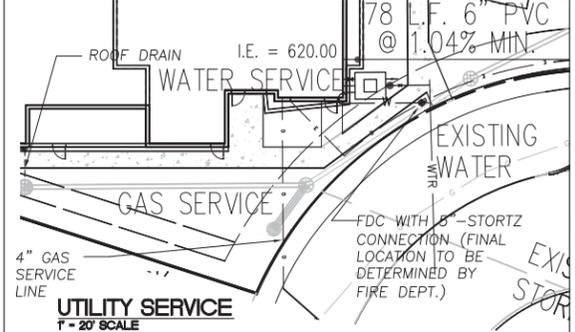
SITE & BUILDING INFORMATION :
 TOTAL SITE AREA = +/- 2.27 AC/98,881 SQ.FT.
 PROPOSED BUILDING = 50,928 SF (FOOTPRINT)
 SITE ZONING = COLUMBUS CROSSING PUD
 FRONT SETBACK = 10 FT.-BUILDING, 10 FT.-PARKING
 SIDE AND REAR SETBACK = 10 FT.-BUILDING, 5 FT.-PARKING
 GUEST ROOMS = 96
 USEABLE FLOOR AREA-MEETING ROOMS = 3,097 SQ.FT.

PARKING SPACES PROVIDED :

PARKING REQUIRED @ 1/ROOM = 96
 @ 1/100 SQ.FT. MTG. RM. = 31
 TOTAL REQUIRED PARKING SPACES @ 127
 TOTAL PARKING SPACES PROVIDED = 127
 ACCESSIBLE PARKING SPACES PROVIDED = 5
 CONVENTIONAL PARKING SPACES PROVIDED = 122

KEY NOTES

- 1 PROPOSED ASPHALT PAVEMENT
- 2 PROPOSED 6" CONCRETE STRAIGHT CURB
- 3 PROPOSED CONCRETE WALK
- 4 PROPOSED ADA RAMP
- 5 PROPOSED INTEGRAL WALK AND CURB
- 6 PROPOSED CONCRETE PAVEMENT.
- 7 PROPOSED PRECAST CONCRETE WHEEL STOP.



APPROVAL PENDING NOT FOR CONSTRUCTION

ROGER WARD ENGINEERING INCORPORATED
 CIVIL ENGINEERS - LAND PLANNERS - DEVELOPMENT CONSULTANTS
 7474 NOEL ROAD
 INDIANAPOLIS, INDIANA 46278
 (317) 251-1738 (FAX) 251-1823
 www.rwengineering.com

SITE AND UTILITY PLAN

DRAWN BY: MKT
 CHECKED BY: JWC
 REVISIONS:
 1- PER COLUMBUS COMMENTS
 2- 3-16-16-RE-REVISION MEETING ROOM, TRASH ENCLOSURE AND PARKING
 3- 3-7-16-RE-REVISION BUILDING, WALKS, UTILITY SERVICE AND PARKING
 4- 4-6-16-RE-REVISION PARKING AND WALKS

FAIRFIELD INN & SUITES
 2820 MERCHANTS MILE
 COLUMBUS, INDIANA 47201

REGISTERED PROFESSIONAL ENGINEER
 No. PE19800489
 STATE OF INDIANA

BY: *Roger Ward*
 DATE: 2-8-2016

SHEET **C102**
 OF 11

JOB#: AGS.002



PLANTING CALCULATION

AREA #1-PARKING LOT FRONTAGE (INTERSTATE 65)
 493.11 L.F. FRONTAGE /50 = 9.86
 TREES PROVIDED @ 10
 SHRUBS @ 7.5 x 9.86 = 73.95
 SHRUBS PROVIDED @ 75

AREA #1-PARKING LOT FRONTAGE (MERCHANTS MILE)
 79.18 L.F. FRONTAGE /50 = 1.58
 TREES PROVIDED @ 2
 SHRUBS @ 7.5 x 1.58 = 12
 SHRUBS PROVIDED @ 12

AREA #2-PARKING LOT INTERIOR

PAVEMENT AREA = 50,778 S.F.
 INTERIOR AREA REQUIRED = 50,778 x 5% (0.05) = 2,539 S.F.
 INTERIOR AREA PROVIDED = 3120 S.F. / 50,778 = 6.1% (0.061)
 2539/300 = 8.46
 TREES PROVIDED @ 8
 SHRUBS PROVIDED @ 54 (8.46 x 6 = 50.8)

AREA #3-FRONT SETBACK (MERCHANTS MILE)

79.18 L.F. FRONTAGE
 FRONT SETBACK MULTIPLIER @ 0.60 x 79.18 = 47.5 LANDSCAPING POINTS REQUIRED:
 2 SHADE TREE 2 @ 25 = 50
 1 ORNAMENTAL 1 @ 10 = 10
 9 EVERGREEN SHRUBS 9 @ 7.5 = 67.5
 TOTAL POINTS PROVIDED 127.5

AREA #4-LOT INTERIOR FOUNDATION PLANTINGS

PERIMETER WALL LENGTH 700 L.F.
 LOT INTERIOR MULTIPLIER @ 0.25 x 700 = 175 LANDSCAPING POINTS REQUIRED:
 11 EVERGREEN TREES 11 @ 10 = 110
 53 EVERGREEN SHRUBS 53 @ 7.5 = 398
 18 DECIDUOUS SHRUBS 18 @ 7.5 = 135
 TOTAL POINTS PROVIDED 643

AREA #5-FREE STANDING SIGN

6 EVERGREEN SHRUBS 6 @ 7.5 = 45
 1 DECIDUOUS SHRUBS 1 @ 7.5 = 7.5
 TOTAL POINTS PROVIDED 52.5

PLANT MATERIAL SCHEDULE

Key	Plant Type	Detail	Size	Qty.	Botanical Name	Key
CB	EUROPEAN HORNBEEAM	●	2 1/2' cal.	10	CARPINUS BETULUS 'FASTIGIATA'	B + B
GT	IMPERIAL HONEYLOCUST	●	2 1/2' cal.	6	GLADSTEDIA THACANTHOS NERMS 'MCOLE'	B + B
NS	BLACK GUM	●	2 1/2' cal.	3	NYSSA SILVATICA	B + B
PG	'FASTIGIATA' ENGLISH OAK	●	2 1/2' cal.	2	QUERCUS RUBOR 'FASTIGIATA'	B + B
CP	WASHINGTON HAWTHORN	⊙	1 1/2' cal.	8	CRATAEGUS PHAENOPYRUM	B + B
MC	CORALBURST CRAB	⊙	1 1/2' cal.	3	MALLUS 'CORALCOLE'	B + B
PO	SERBIAN SPRUCE	●	6'	2	PICEA OMORICA	B + B
TO	EMERALD GREEN ARBORVITAE	●	6'	15	THUJA OCCIDENTALIS 'SMARAGD'	CONT.
TD	DENSE YEW	⊙	36"	53	TAXUS 'DENSIFORMIS'	B + B
VD	BLUE MUFFIN VIBURNUM	●	36"	34	VIBURNUM DENTATUM 'CHRISTOM'	B + B
JV	GREY OWL JUNIPER	⊙	30"	46	JUNIPERUS VIRGINIANA 'GREY OWL'	CONT.
VC	KOREAN SPICE VIBURNUM	●	30"	19	VIBURNUM CARLESII	CONT.
JC	KALLAY JUNIPER	⊙	24"	59	JUNIPERUS CHINENSIS 'KALLAYS COMPACT'	CONT.
	SEASONAL FLOWER BED	▨	40 S.F.			

ALL LAWN AREAS ARE TO BE SEEDED UNLESS NOTED OTHERWISE.

LANDSCAPE SPECIFICATIONS

LANDSCAPE SPECIFICATIONS: These specifications cover the furnishing of labor, plants, equipment, and materials to perform landscape operations in connection with this construction project at the locations shown on the landscape drawing.

LANDSCAPE MATERIALS:

FERTILIZER: Granular non-burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer, 20% nitrogen, 10% phosphoric acid, and 5% potash by weight or similarly approved composition.

PLANTING BACKFILL SOIL: Backfill plant pits with the following topsoil mixture: 1 part topsoil, 1 part soil amendment and 1 part soil from excavation. Topsoil: ASTM D5268, PH Range of 5.5 to 7, MIN. 4 percent organic material, free of stones 1 inch and larger. Soil Amendment: Sphagnum peat moss or EPA rated class IV compost. Prepare planting backfill soil on site. Notify landscape architect one week prior to commencing planting to arrange site inspection to conform sufficient quantities of imported topsoil, compost and fertilizer are on site for planting operations.

PLANT MATERIALS: Provide trees and shrubs as indicated. Comply with sizing and grading standards of 'American Standard for Nursery Stock'. Provide only sound, healthy vigorous plants free from defects, disfiguring knots, sun scold injuries, frost cracks, plant diseases, insects or any other form of disease or infestation. All plants shall have fully developed form without voids or open spaces.

PLANTING BED MULCH: 3 inches of Premium grade shredded hardwood mulch (Dark Tan in color) over pre-emergent weed control granules.

PROJECT EXECUTION:

SUBSURFACE UTILITIES: Contractor shall determine utility line locations prior to commencing work. Any conflicts between utility locations, excavation and/or landscape operations shall be brought to Owner's attention prior to commencing excavation and/or grading work. Contractor assumes responsibility for any utility damage resulting from landscape operations. CONTRACTOR SHALL NOTIFY UTILITY LOCATE SERVICE (1-800-382-5544) A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION.

PLANTING EXCAVATION: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage or obstructions, notify owner before planting. See planting details for planting, pruning and staking requirements. All plant beds including tree rings found in lawn areas shall have a 4" spade edge, NO EDGING.

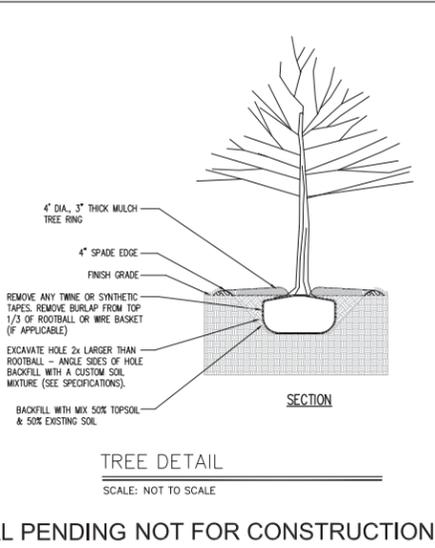
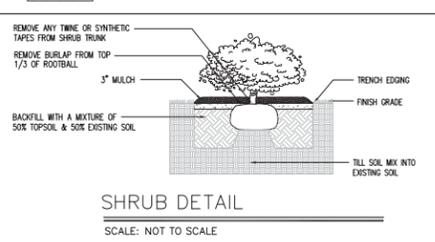
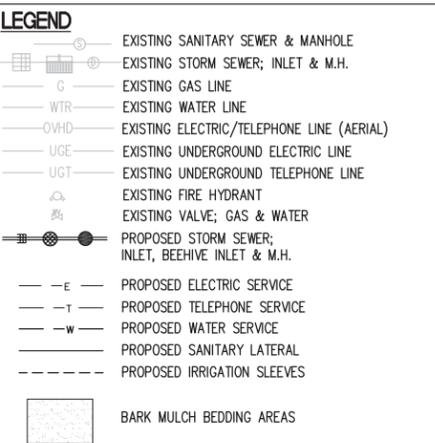
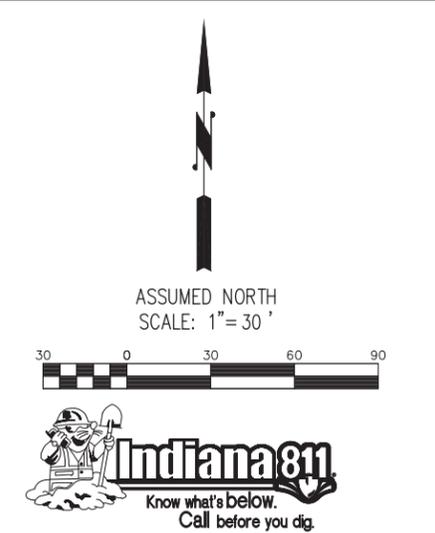
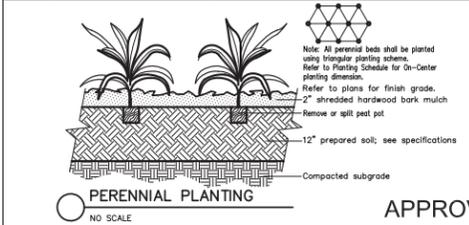
SEEDED LAWN: Complete all other landscape plantings, mulching and staking prior to seeding lawn areas. Apply fertilizer at a rate equal to 4 pounds of actual nitrogen per 1,000 square feet. Spread topsoil over lawn areas to a depth of two inches prior to seed bed preparation. Cultivate soil to a depth of three inches prior to seeding. Seed bed shall be in a firm but uncompacted condition with a relatively fine texture at time of seeding. Apply Warren's Turf Type Tall Fescue, Frontrunner, at the rate of 7 pounds per 1,000 square feet. Spread weed and seed free straw uniformly over seeded areas and secure to place with emulsified tackifier.

Contractor shall maintain seeded lawn for a period of 60 days beyond final acceptance by mowing and watering as required to maintain vigorous growth during establishment period.

PROJECT WARRANTY: Contractor shall warrant trees, shrubs, and plants for a period of one year after date of substantial completion against defects including death and unsatisfactory growth, except for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond installer's control. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period.

LANDSCAPE NOTES

- All species of plant materials and substitutions thereof are subject to acceptance by the City of Columbus Planning Department and approval by the Owner(s) or a representative of the Owner(s).
- All plant materials are to be warranted for a period of no less than one year from final acceptance by the Owner(s) or a representative of the Owner(s).
- All plant material is to be planted in a manner that ensures its survival. Any environmental or other type of situation that is noted by the landscape Contractor that could potentially injure the plant or shorten its longevity is to be made known to the Owner(s) and potential substitutions or corrections to the situation can be made at no expense to the Contractor.
- All materials failing the one year warranty period are to be replaced at the expense of the Landscape Contractor.
- Any deviation from responsible landscape practices and the City of Columbus/Bartholomew County Zoning Ordinance will result in the immediate termination of the Landscape Contract and the Contractor will pay all costs associated with the corrections.
- All plant material is to come from respectable sources within 100 miles of the site on which it is being installed. If no source for a plant species is available within this area, the project Landscape Architect/Engineer is to be notified immediately to make a determination of possible options.
- All plant material is subject to approval by the project Landscape Architect/Engineer prior to installation and may be rejected for reasons of health, aesthetics, size or other reasonable causes.
- The Landscape Contractor is responsible for the timely installation of all material in his contract. Should there be a delay due to weather or other unforeseeable, natural circumstances, the timeline will be adjusted.
- The Landscape Contractor is responsible for conduit crossings for irrigation lines. Irrigation Plan will be provided by the Owner.



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 www.rwengineering.com

LANDSCAPE PLAN

REVISIONS:
 1- METAS PERM. BASIS PLAN SHEET HAS PLANNING CALCULATION TABLE PER COMMENT
 2- 4-7-14-RE-REVISIONED PAVING
 3- 8-9-16-RE-REVISIONED PAVING
 4- 8-9-16-RE-REVISIONED INTERIOR SPACE CALC. PER COLUMBUS COMMENT

DESIGNED BY: MKT
 DRAWN BY: MKT
 DATE: 2/18/2016
 FILE NAME: AGS/002/096/101
 REF:

FAIRFIELD INN & SUITES
2820 MERCHANTS MILE
COLUMBUS, INDIANA 47201

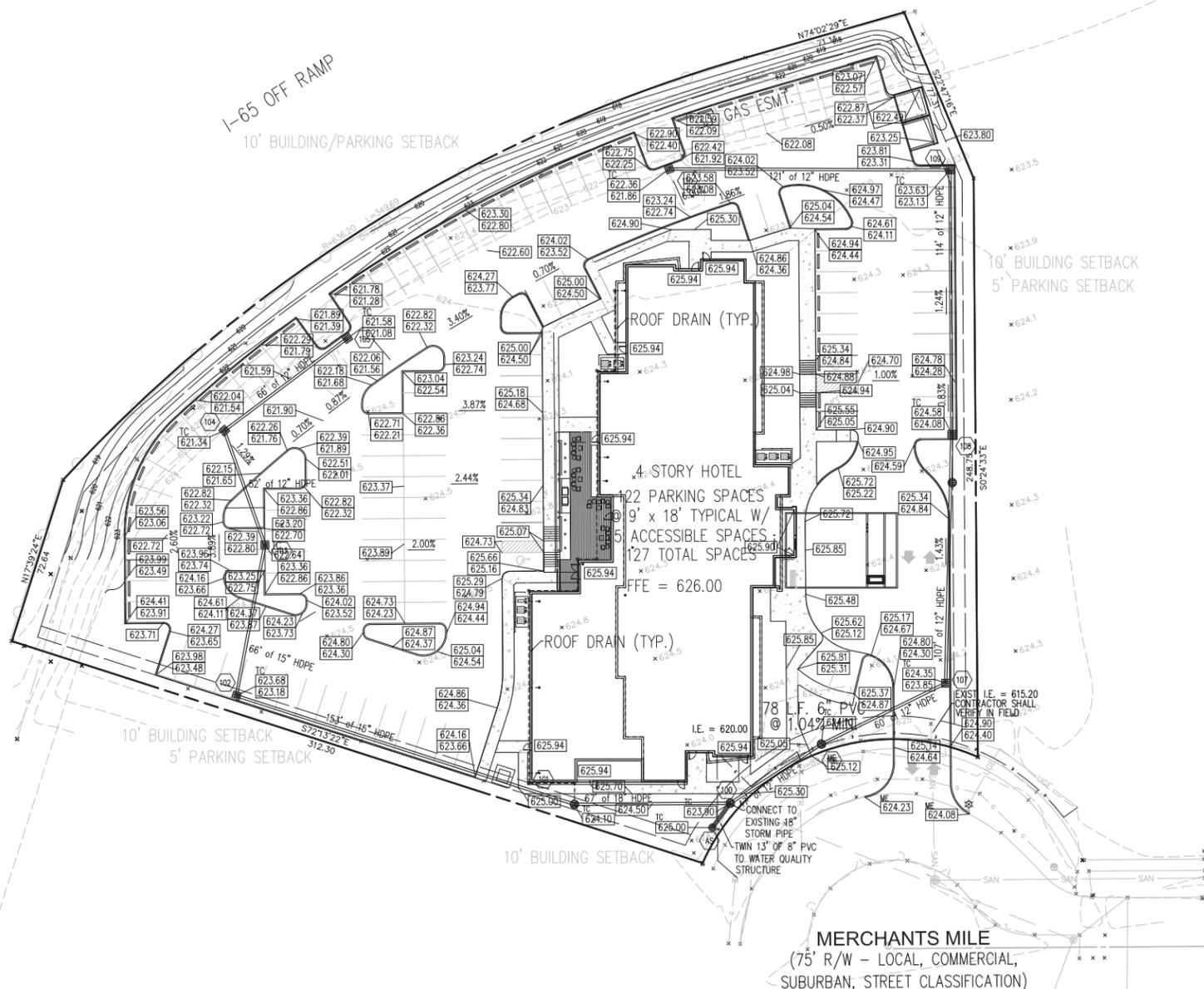
MICHAEL K. TERRY
 REGISTERED
 NO. 80860011
 STATE OF INDIANA
 LANDSCAPE ARCHITECT

BY: *Michael Terry*

DATE: 2-8-2016

SHEET
L101
 OF
 11

APPROVAL PENDING NOT FOR CONSTRUCTION



LEGEND

- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & CLEANOUT
- EXISTING STORM SEWER; INLET & M.H.
- EXISTING GAS MAIN
- PROPOSED STORM SEWER; INLET, BEE HIVE INLET, M.H. AND END SECTION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED TOP OF CURB/GUTTER GRADE
- PROPOSED GRADE
- DRAINAGE FLOWLINE
- ROOF DRAIN/SUBSURFACE DRAIN
- DRAINAGE FLOW ARROW
- SLOPE STABILIZATION - RIP RAP

FFE = 626.00 FINISH FLOOR ELEVATION

ASSUMED NORTH
SCALE: 1" = 30'



GENERAL NOTES

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 1.00%.
4. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
5. SLOPES SHALL NOT BE GREATER THAN 3:1 UNLESS OTHERWISE SPECIFIED.
6. REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED BUILDING PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
7. THE SUB-GRADE AND ANY FILL PLACED ON-SITE SHALL BE COMPACTED TO A MINIMUM OF 93 PERCENT STANDARD PROCTOR DENSITY (ASTM D-1557). FILL BENEATH THE BASE OF FOOTING ELEVATION AND PARKING LOT AREAS SHALL BE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY (ASTM D-1557). REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
8. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
9. ALL STORM SEWER TRENCHES ARE TO BE BACKFILLED WITH GRANULAR MATERIAL.
10. STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AUTHORITY SHALL APPLY FOR ALL STORM SEWER CONSTRUCTION.
11. MAXIMUM SLOPE OF 2.00% IN HANDICAPPED PARKING AREAS.
12. ROOF DRAINS AND FOUNDATIONS DRAINS TO BE KEPT SEPARATE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF FOUNDATION DRAINS AND DOWNSPOUTS.
13. ALL STORM WATER SHALL BE KEPT SEPARATE FROM SANITARY LINES.
14. ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CITY OF COLUMBUS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.

FLOOD NOTE

THIS SITE DOES NOT LIES WITHIN SPECIAL FLOOD HAZARD ZONE "A" (AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN) AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR BARTHOLOMEW COUNTY, INDIANA, COMMUNITY NUMBER, 180005C129, DATED DECEMBER 9, 2014.

STORM SEWER TABLE (PRIVATE SYSTEM)

STR #	TC/GUT*	STRUCTURE TYPE	CASTING TYPE	INVERTS	DOWNSTREAM PIPE INFORMATION	DOWNSTREAM STRUCTURE	DETAIL ON SHEET #
100	623.90	DIVERSION MANHOLE	NEENAH R-4832-B	NE=617.59, W SW=617.09, E=616.99	EX. 18" RCP	EXIST. 18" STUB	
101	624.10	MANHOLE	NEENAH R-4832-B	N, W=617.60, E 18"=617.25	67 LF OF 18" HDPE @ 0.25%	100	C802
102	623.18	MANHOLE	NEENAH R-3405	N=618.09, E=617.99	153 LF OF 18" HDPE @ 0.25%	101	C802
103	622.64	MANHOLE	NEENAH R-3405	N=618.60, S=618.25	66 LF OF 15" HDPE @ 0.25%	102	C802
104	621.34	INLET	NEENAH R-3405	NE=618.87, SE=618.77	52 LF OF 12" HDPE @ 0.32%	103	C802
105	621.08	INLET	NEENAH R-3405	SW=619.08	66 LF OF 12" HDPE @ 0.32%	104	C802
106	624.10	MANHOLE	NEENAH R-4832-B	NE=618.35, SW=618.25	47 LF OF 12" HDPE @ 1.40%	100	C802
107	624.35	MANHOLE	NEENAH R-3405	N=618.75, SW=618.65	60 LF OF 12" HDPE @ 0.50%	106	C802
108	624.58	MANHOLE	NEENAH R-3405	N=619.28, S=619.18	107 LF OF 12" HDPE @ 0.40%	107	C802
109	623.63	INLET	NEENAH R-3405	W=619.74, S=617.64	114 LF OF 12" HDPE @ 0.32%	108	C802
110	622.36	INLET	NEENAH R-3405	E=620.13	121 LF OF 12" HDPE @ 0.32%	109	C802
AS	625.00	AQUA-SWRL AS-2	NEENAH R-1772	W=617.03	TWIN 13 LF OF 6" HDPE	100	C802

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 www.rwengineering.com

GRADING AND DRAINAGE PLAN

FAIRFIELD INN & SUITES
 2820 MERCHANTS MILE
 COLUMBUS, INDIANA 47201

DRAWN BY: MKT
 CHECKED BY: JWC
 REVISIONS:
 1-1-16-REVISED PER COLUMBIA COMARTE.
 2-3-16-REVISED BEARING ROOM, TRASH ENCLOSURE AND PARKING.
 3-7-16-REVISED BUILDING, WALKS, UTILITY SERVICE AND PARKING.
 4-8-16-REVISED PARKING AND WALKS.

FAIRFIELD INN & SUITES
2820 MERCHANTS MILE
COLUMBUS, INDIANA 47201

REGISTERED PROFESSIONAL ENGINEER
 No. PE19800489
 STATE OF INDIANA

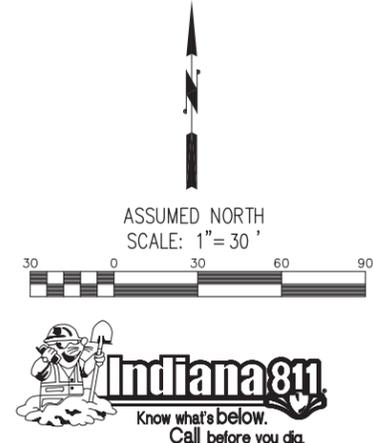
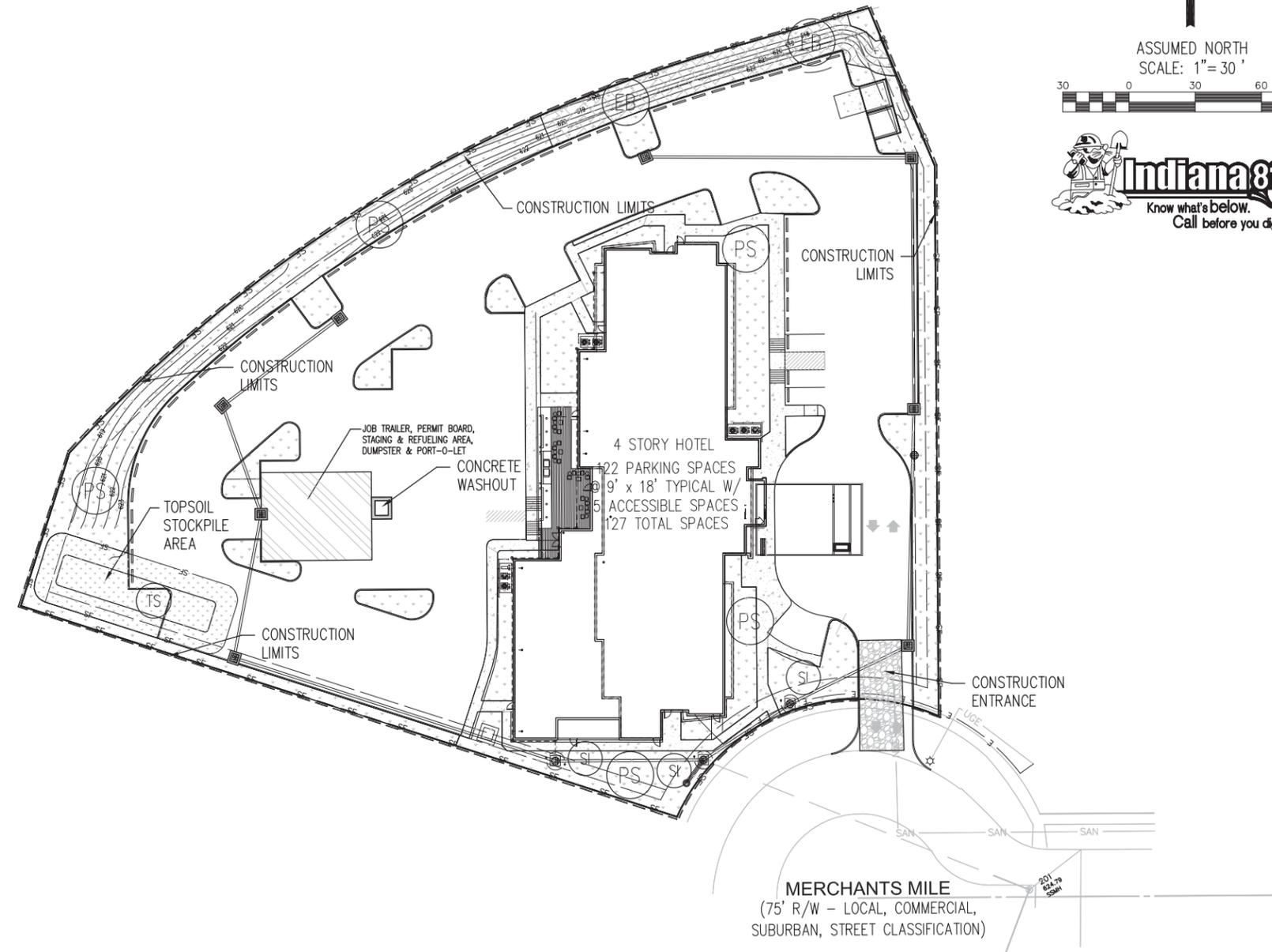
BY: *Roger Ward*

DATE: 2-8-2016

SHEET
C103
 OF
 11

APPROVAL PENDING NOT FOR CONSTRUCTION

JOB#: AGS.002



GENERAL NOTES

- CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
- CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
- LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
- ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDED SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
- PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
- THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
- ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
- ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
- THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
- EROSION CONTROL TO COMPLY WITH INDIANA 327 IAC AND RULE #5, AND THE INDIANA STORM WATER QUALITY MANUAL.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
- DIRT AND DEBRIS SHALL NOT BE TRACKED INTO THE ROADWAYS VIA CONSTRUCTION EQUIPMENT AND PERSONNEL.
- INLET PROTECTION IS TO BE PROVIDED AT ALL INLETS. SEE SHEET C105 FOR INLET PROTECTION DETAILS.
- ALL PROPOSED EROSION CONTROL AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH CHAPTER 5 OF THE CITY OF COLUMBUS STORMWATER DESIGN MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.

HYDROLOGIC UNIT CODE
 HUC-14: 05120204100080
 HUC-12: 051202040904

LEGEND

- EXISTING SANITARY SEWER & MANHOLE
- EXISTING GAS LINE
- EXISTING STORM SEWER; INLET & M.H.
- PROPOSED SANITARY LATERAL & CLEANOUT
- PROPOSED STORM SEWER; INLET BEE HIVE INLET, M.H. AND END SECTION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- DRAINAGE SWALE
- ROOF DRAIN
- TEMPORARY SEEDED
- PERMANENT SEEDED
- EROSION CONTROL BLANKET
- SILT FENCE
- LIMITS OF CONSTRUCTION
- SILT FENCE INLET PROTECTION
- DRAINAGE FLOW ARROW
- SLOPE STABILIZATION - RIP RAP
- CONCRETE WASHOUT AREA
- EROSION CONTROL BLANKET
- LAWN SEEDED AREA

SITE NOTE

NO EARTH DISTURBING ACTIVITY MAY COMMENCE WITHOUT AN APPROVED STORMWATER MANAGEMENT PERMIT.

REQUIRED STATE/FEDERAL WATER QUALITY PERMITS

NONE REQUIRED

EROSION CONTROL CONTACT

AGS PRIVATE EQUITY
 ATTN: AMIT PATEL
 101 Carrie Lane
 Columbus, IN 47201
 Ph: (812) 219-8034



SOILS MAP

SCALE : 1" = 100'

APPROVAL PENDING NOT FOR CONSTRUCTION

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 www.rw-engineering.com

EROSION CONTROL PLAN

DRAWN BY: AMT
 DATE: 2/8/2016
 FILE NAME: AGS/002/006/C104
 REF:

REVISIONS:
 1- PER COLUMBUS COMMENTS
 2- 7-14-16-RE-REVISION BUILDING, WALKS AND PARKING
 3- 7-14-16-REV. per City of Columbus Comment Ltr. dated 7/19/16.
 4- 8-3-16-RE-REVISION PARKING AND WALKS.
 5-

FAIRFIELD INN & SUITES
2820 MERCHANTS MILE
COLUMBUS, INDIANA 47201

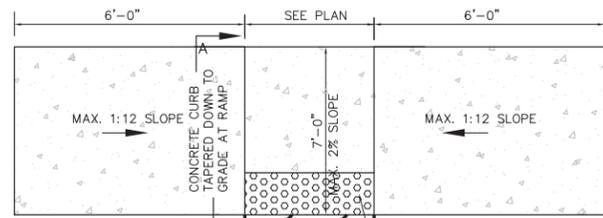
ROGER C. WARD, P.E.
 REGISTERED
 No. PE19800489
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

BY: *Roger C. Ward*

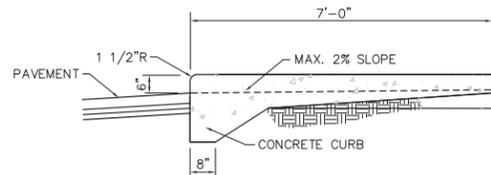
DATE: 2-8-2016

SHEET
C104
 OF
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JOB#: AGS.002



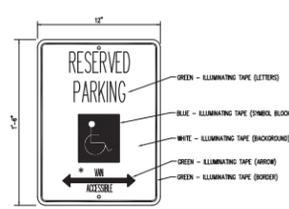
PLAN VIEW 18" DEEP DETECTABLE WARNING PATTERN PER ADA 4.29.2



SECTION A-A

WHEELCHAIR RAMP DETAIL

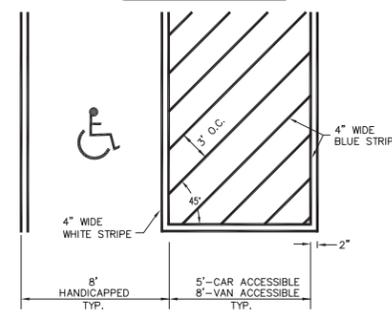
NO SCALE



HANDICAP PARKING SIGN DETAIL

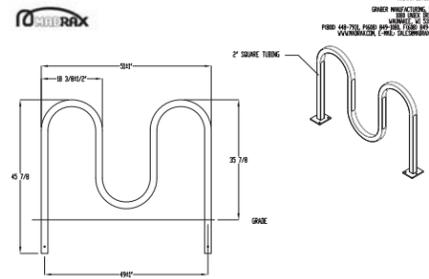
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HANDICAPPED PARKING SIGN



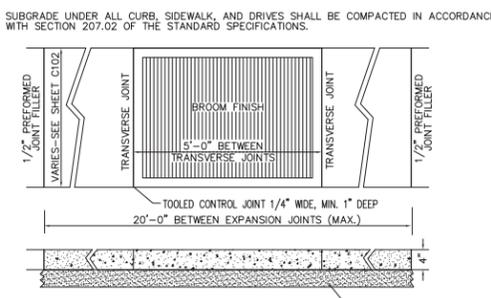
HANDICAP PARKING STALLS

NO SCALE



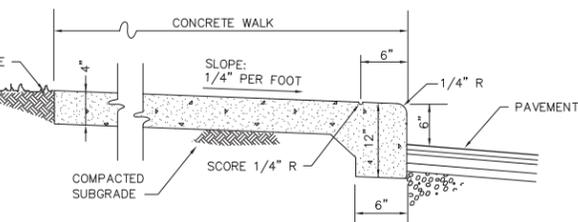
BIKE RACK DETAIL

NO SCALE



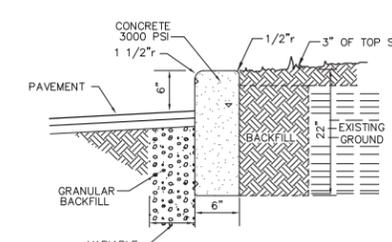
SIDEWALK DETAIL

NOT TO SCALE



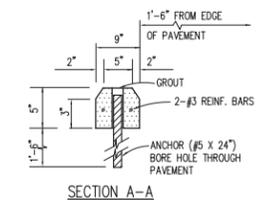
CONCRETE CURB AND WALK

NO SCALE



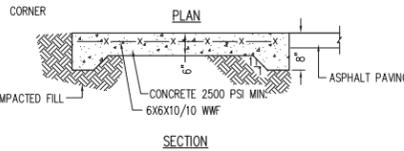
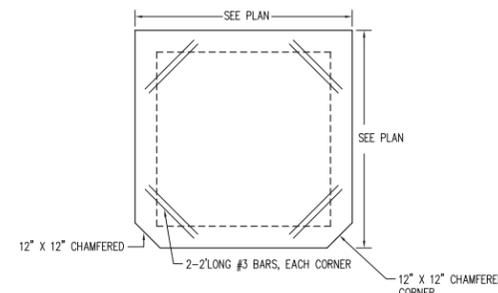
STRAIGHT CONCRETE CURB DETAIL

NO SCALE



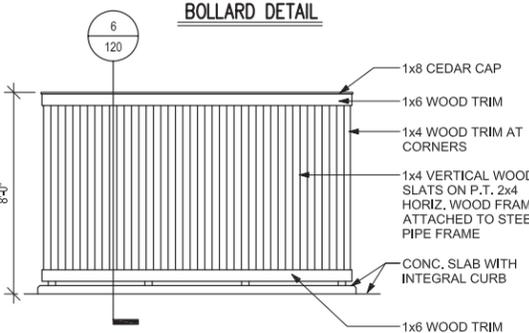
PRECAST CONCRETE WHEELSTOP

NO SCALE



BOLLARD DETAIL

NO SCALE



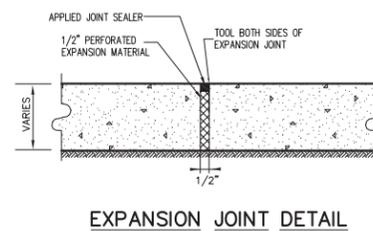
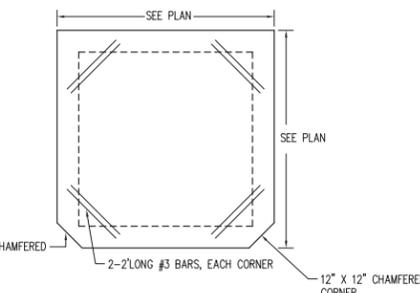
CONCRETE DUMPSTER DETAIL

NO SCALE

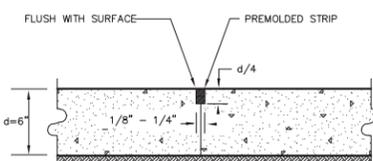
APPROVAL PENDING NOT FOR CONSTRUCTION

TYPICAL EXTERIOR STEP DETAIL

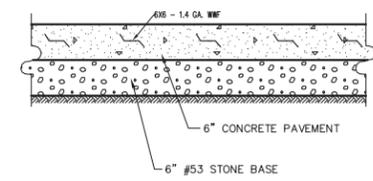
- NOTES:
- STEPS SHALL BE AS WIDE AS THE WALK.
 - TREAD RISE PROPORTION: 2R+1=26"
 - HANDRAIL IS REQUIRED WHEN FLIGHT RISE EXCEEDS 30"
 - REFER TO THE SITE PLAN FOR THE TREADS AND RISERS REQUIRED FOR THE FLIGHT.
 - CHEEK WALLS ARE REQUIRED FOR STEPS OF THREE OR MORE RISERS EXCEPT WHERE NEAR INTERSECTION OF TREADS AND RISERS IS AT LEAST 2' ABOVE GRADE.
 - VERIFY THE STEP CONFIGURATION AND LAYOUT OF THIS DETAIL WITH ARCHITECTURAL PLANS.



EXPANSION JOINT DETAIL

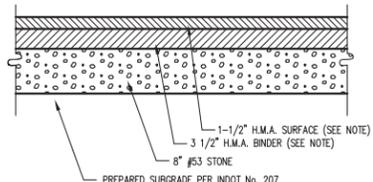


TYPE C SAWED OR PREMOLDED STRIP



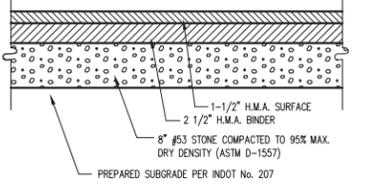
CONCRETE PAVEMENT SECTION

NO SCALE



HEAVY DUTY PAVEMENT SECTION

NOTE: CONTRACTOR TO CHECK SOILS REPORT TO VERIFY MINIMUM PAVEMENT THICKNESSES.



TYPICAL PAVEMENT SECTION

NO SCALE

GENERAL DETAILS

REVISIONS:
 1. 2. 3. 4.
 DRAWN BY: A.M.T.
 DATE: 2/8/2016
 FILE NAME: AGS/002/DWG/0801
 REF:

FAIRFIELD INN & SUITES
 2820 MERCHANTS MILE
 COLUMBUS, INDIANA 47201

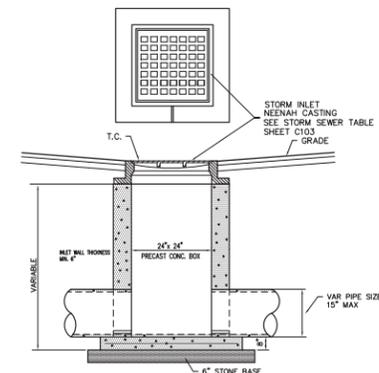


BY: *Roger C. Ward*

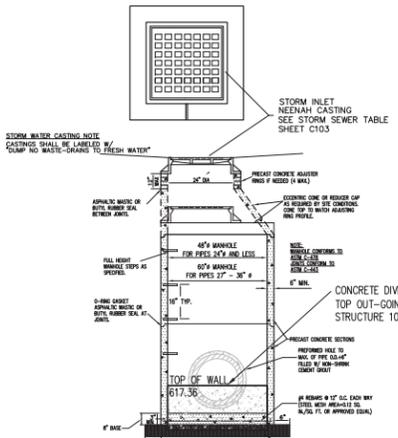
DATE: 2-8-2016

SHEET
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 11

JOB#: AGS.002

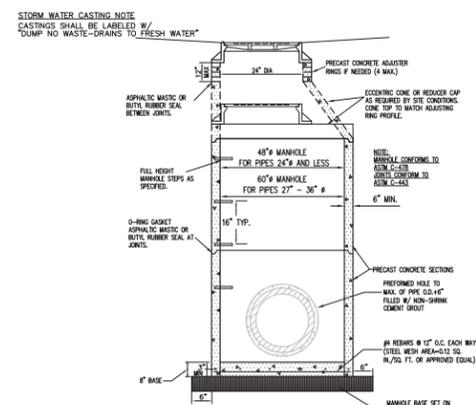


PAVED AREA INLET
STRUCTURES 102, 103, 109, 110



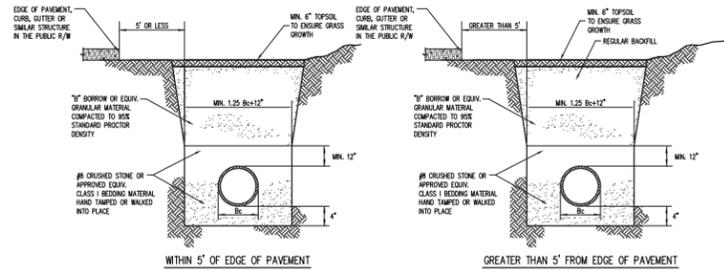
STORM SEWER MANHOLE

STRUCTURE 100



STORM SEWER MANHOLE

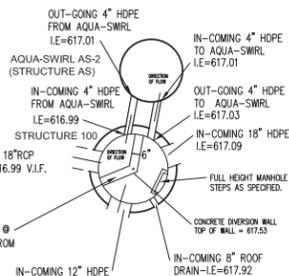
STRUCTURES 101, 102, 103, 106, 107, 108



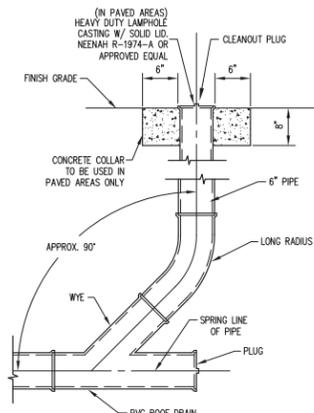
NOTE:
ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
A MINIMUM 4" OF CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

LEGEND:
Ø = OUTSIDE DIAMETER
D = INSIDE DIAMETER
+ = DEPTH OF BEDDING MATERIAL BELOW PIPE

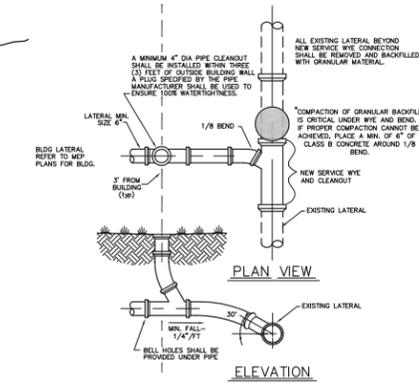
TRENCH DETAIL
PLASTIC PIPE (PVC & HDPE)



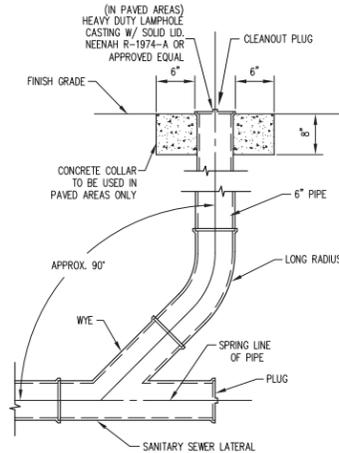
STRUCTURE 100



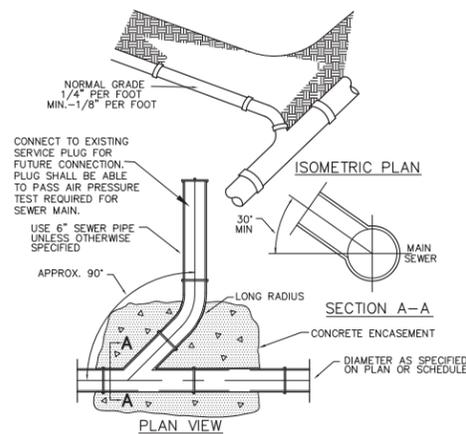
ROOF DRAIN CLEANOUT DETAIL



SERVICE CONNECTION FOR SHALLOW SEWERS
LESS THAN 15' DEEP



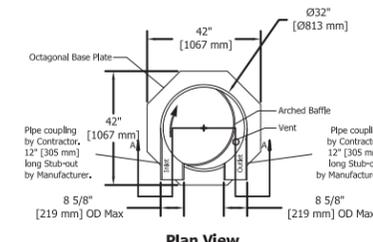
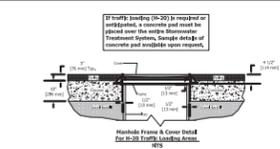
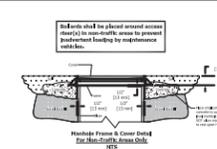
TYPICAL CLEANOUT DETAIL
WITH PLUG
NO SCALE



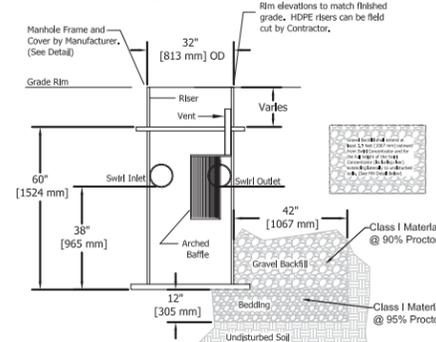
CONNECTION TO MAIN SEWER

STANDARD NOTE:

- System shall be designed for the following capacities:
Peak Treatment Flow: 1.1 cfs (31 L/s)
Sewerage Storage: 10 ft³ (0.28 m³)
Sewerage Storage: 10 gal. (140 L)
- Please see accompanied Aqua-Swirl specification notes.
- See Site Plan for actual system orientation.
- Orientation may vary from 90°, 180°, or custom angles to meet site conditions.



Plan View

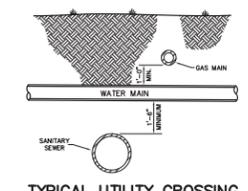


Section A-A

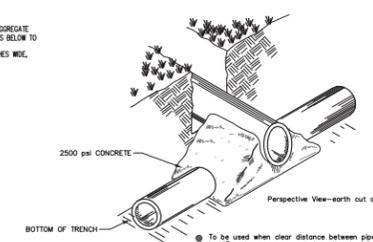
Aqua-Swirl Concentrator Model AS-2 Off-Line Horseshoe Standard Detail

STRUCTURE AS

NO SCALE

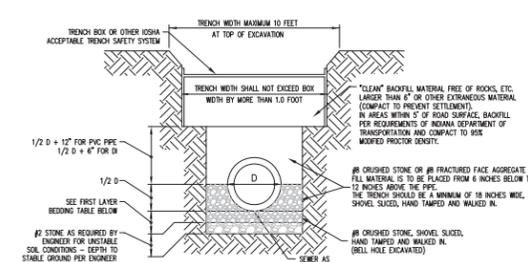


TYPICAL UTILITY CROSSING



CONCRETE CRADLE

NO SCALE



SANITARY SEWER TRENCHING, BEDDING AND BACKFILL DETAIL

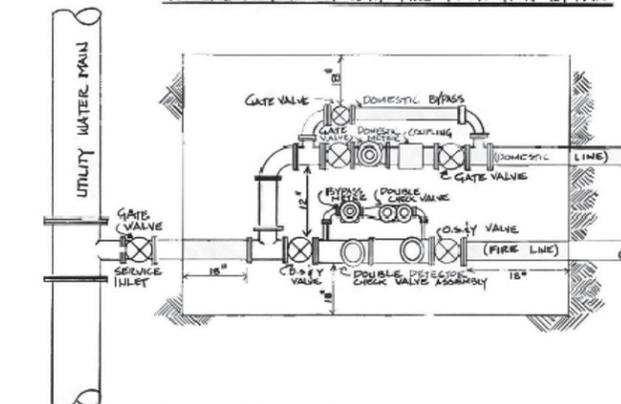
FIRST LAYER BEDDING TABLE

PIPE SIZE	8" TO 10"	12" & OVER
BEDDING BELOW THE PIPE BARREL AND BELL	MINIMUM = 6"	MINIMUM = 10"

PIPE SIZE PER CONSTRUCTION PLANS

PIPE SIZE	A	B
UP TO 18"	3'-0"	2'-6"
18" AND GREATER	0 + 2'	0 + 18"

TYPICAL METER PIT WITH FIRE PROTECTION BY-PASS



WATER METER PIT DETAIL

NO SCALE

EFFECTIVE SEPT. 1, 1984

by J.L. WDT

APPROVAL PENDING NOT FOR CONSTRUCTION

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CIVIL ENGINEERS - LAND PLANNERS - DEVELOPMENT CONSULTANTS
7474 NOEL ROAD
INDIANAPOLIS, INDIANA 46278
(317) 251-1738 (FAX) 251-1823
www.rwengineering.com

GENERAL DETAILS
DRAWN BY: MKT
DATE: 2-25-10
REVISIONS: PER COLUMBUS COMMENTS
FILE NAME: AGS/002/046/0802

FAIRFIELD INN & SUITES
2820 MERCHANTS MILE
COLUMBUS, INDIANA 47201

REGISTERED PROFESSIONAL ENGINEER
No. PE19800489
STATE OF INDIANA

BY: *Roger Ward*

2-8-2016

SHEET **C802**
OF 11

JOB#: AGS.002



TYPE "B" GROUND SIGN



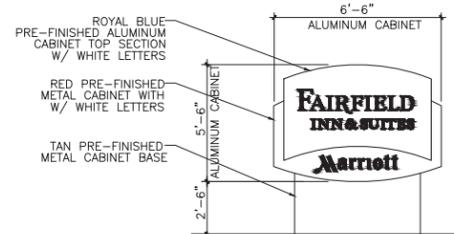
TYPE "D" FRONT YARD WALL SIGN

SIGN EXAMPLES



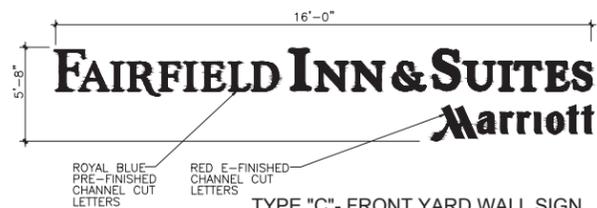
TYPE "A"- END WALL SIGN

24"H AND 16"H PRE-FINISHED ALUM CHANNEL CUT LETTERS INTERNALLY ILLUMINATED



TYPE "B"- GROUND SIGN SINGLE SIDE

PRE-FINISHED ALUM. CAN SIGN AND BASE INTERNALLY ILLUMINATED



TYPE "C"- FRONT YARD WALL SIGN

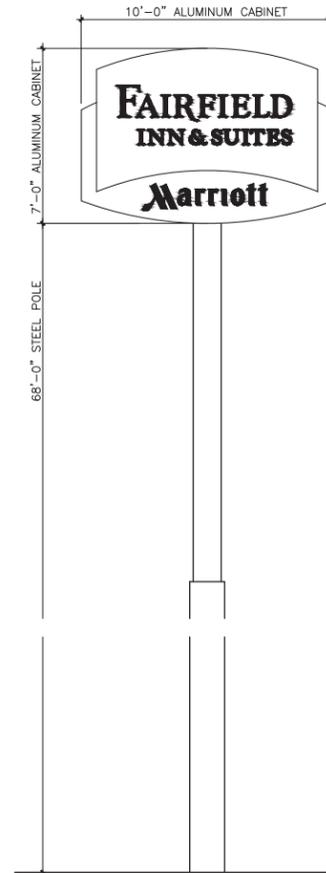
24"H AND 16"H CHANNEL CUT ALUMINUM LETTERS INTERNALLY ILLUMINATED



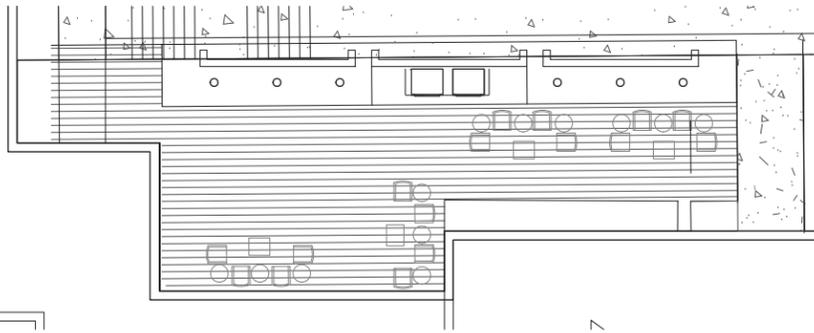
TYPE "D"- FRONT YARD WALL SIGN

36"H AND 24"H CHANNEL CUT ALUMINUM LETTERS INTERNALLY ILLUMINATED

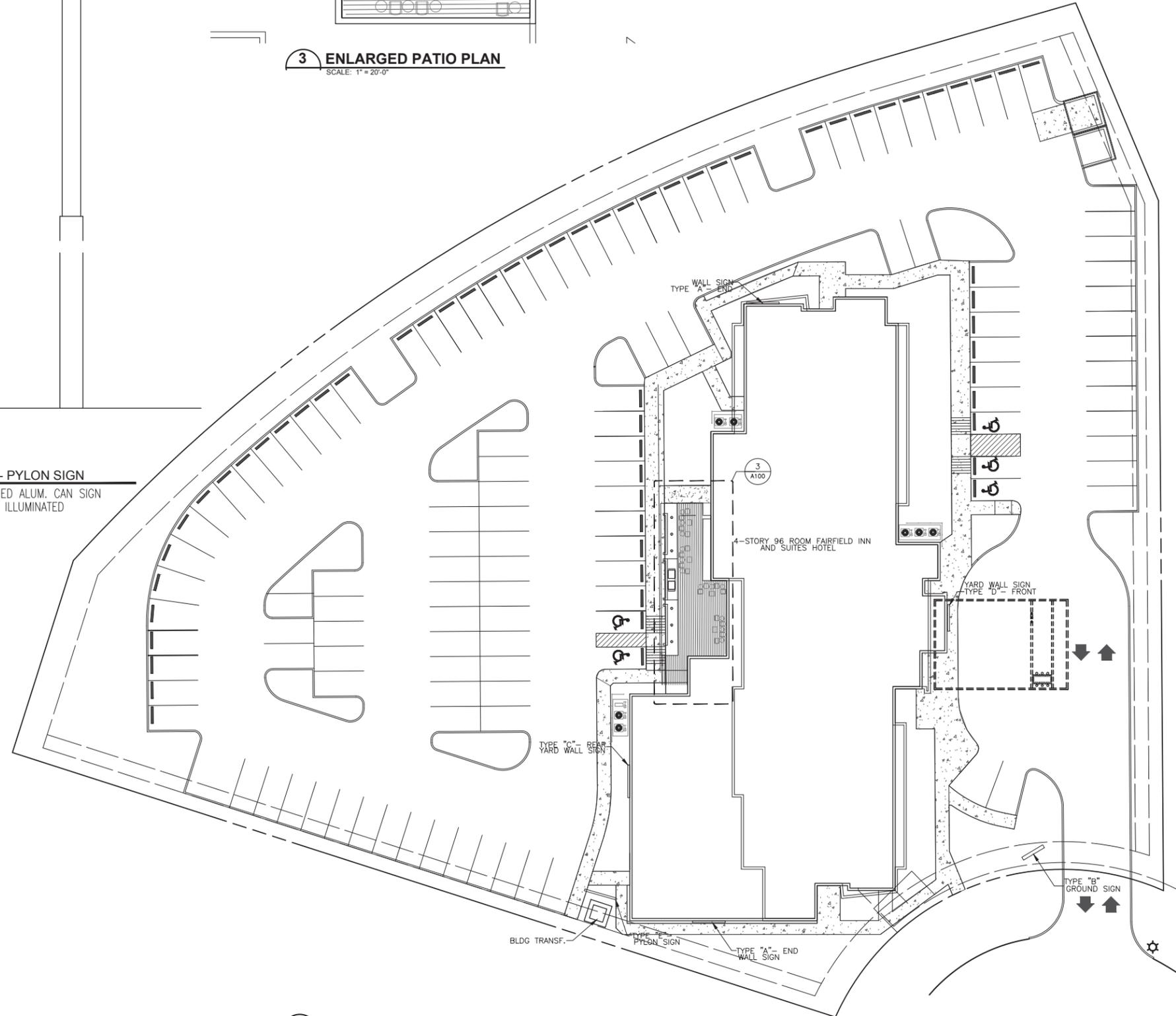
2 SIGNAGE ELEVATIONS
SCALE: 1" = 20'-0"



TYPE "E"- PYLON SIGN
PRE-FINISHED ALUM. CAN SIGN
INTERNALLY ILLUMINATED



3 ENLARGED PATIO PLAN
SCALE: 1" = 20'-0"



1 SITE SIGNAGE PLAN
SCALE: 1" = 20'-0"



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PROJECT NO: 16-001
ISSUE DATE: 09/07/2016
PROJECT MANAGER: D.McA
DRAWN BY: S.A.H.
DRAWER NO: x

REVISIONS:

No.	Description	Date
1	PARKING AND WALKS	8/9/16

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE:
CONSTRUCTION-
DOCUMENTS-
APPROVAL PENDING

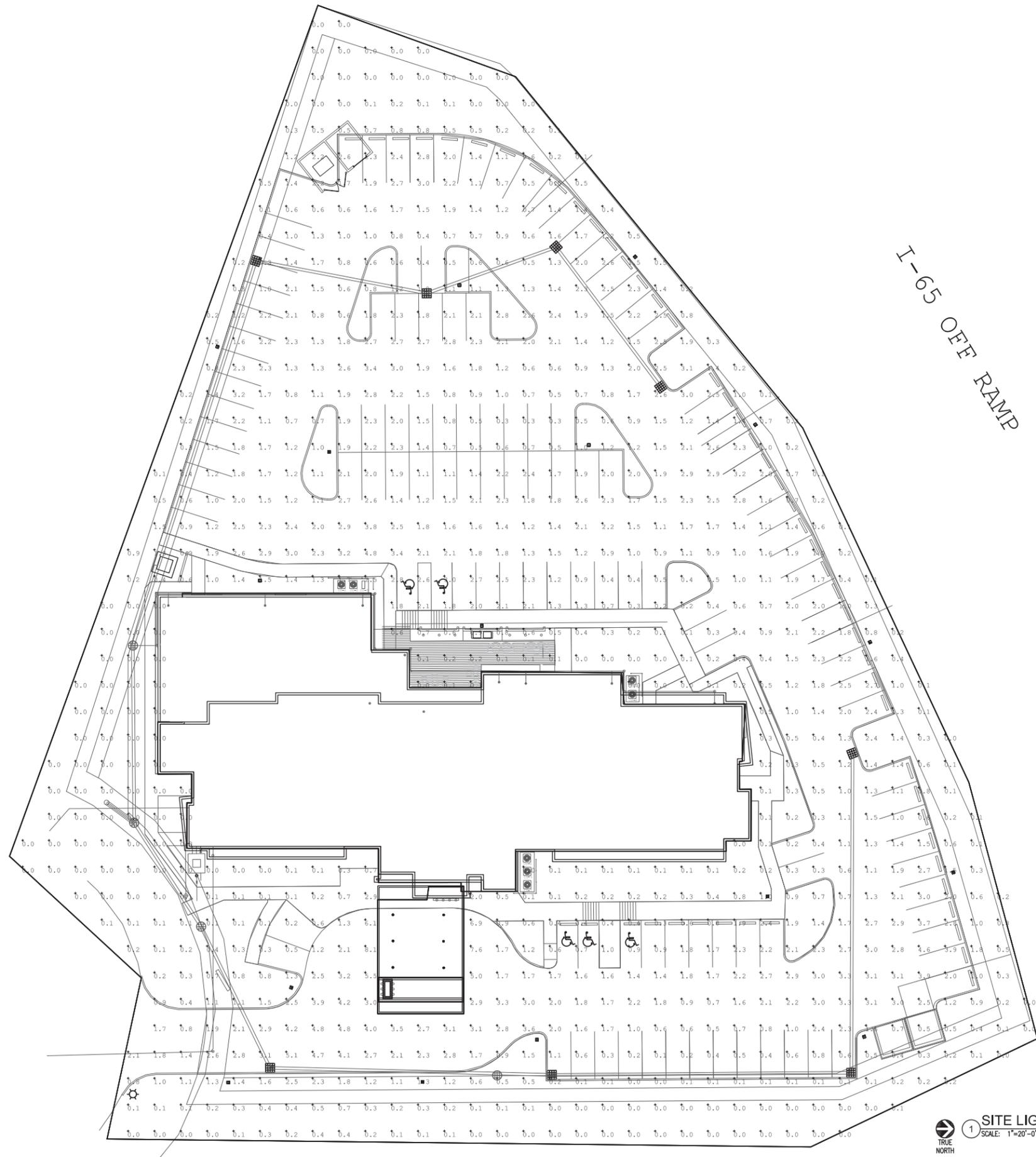
SHEET DESCRIPTION:
SITE SIGNAGE
PLAN

SHEET NUMBER:
A-100

5-001 Fairfield Inn & Suites-Gen 4 - South Columbus, Indiana\000 - WEEFS\XR Floor Plans.dwg - sara - - Wednesday September 07, 2016, 8:26am - - Copyright 2016

Drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.

D:\Quinn McAllister Architects\16005 Fairfield Inn and Suite in Columbus, IN\MEP Drawings\16005 E04.dwg - danerson --- Friday August 12, 2016, 9:47am --- Copyright 2016



1 SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



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PROJECT NO: 16-001
ISSUE DATE: 07/14/2016
PROJECT MANAGER: D.McA
DRAWN BY: D.McA
DRAWER NO: *

REVISIONS:

No.	Description	Date
1	PARKING AND WALKS 8/9/16	

**96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD**
South Columbus, Indiana

PROJECT PHASE:
PERMIT SET

PROJECT PROGRESS:
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SHEET DESCRIPTION:
SITE LIGHTING PHOTOMETRIC PLAN

SHEET NUMBER:
ES02

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6-001 Fairfield Inn & Suites-Gen 4 - South Columbus, Indiana\000 - XREFS\VR Exterior Building Elevations.dwg - sara --- Wednesday September 07, 2016, 8:33am --- Copyright 2016



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PROJECT NO: 16-001
 ISSUE DATE: 09/07/2016
 PROJECT MANAGER: D.M.A.
 DRAWN BY: S.A.H.
 DRAWER NO: x

REVISIONS:

No.	Description	Date
1	REPLACED EIFS WITH STONE	8/9/16

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
 South Columbus, Indiana

PROJECT PHASE:
 CONSTRUCTION DOCUMENTS-
 APPROVAL PENDING

PROJECT PROGRESS:
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 SHEET DESCRIPTION:
 NORTH & WEST EXTERIOR ELEVATIONS

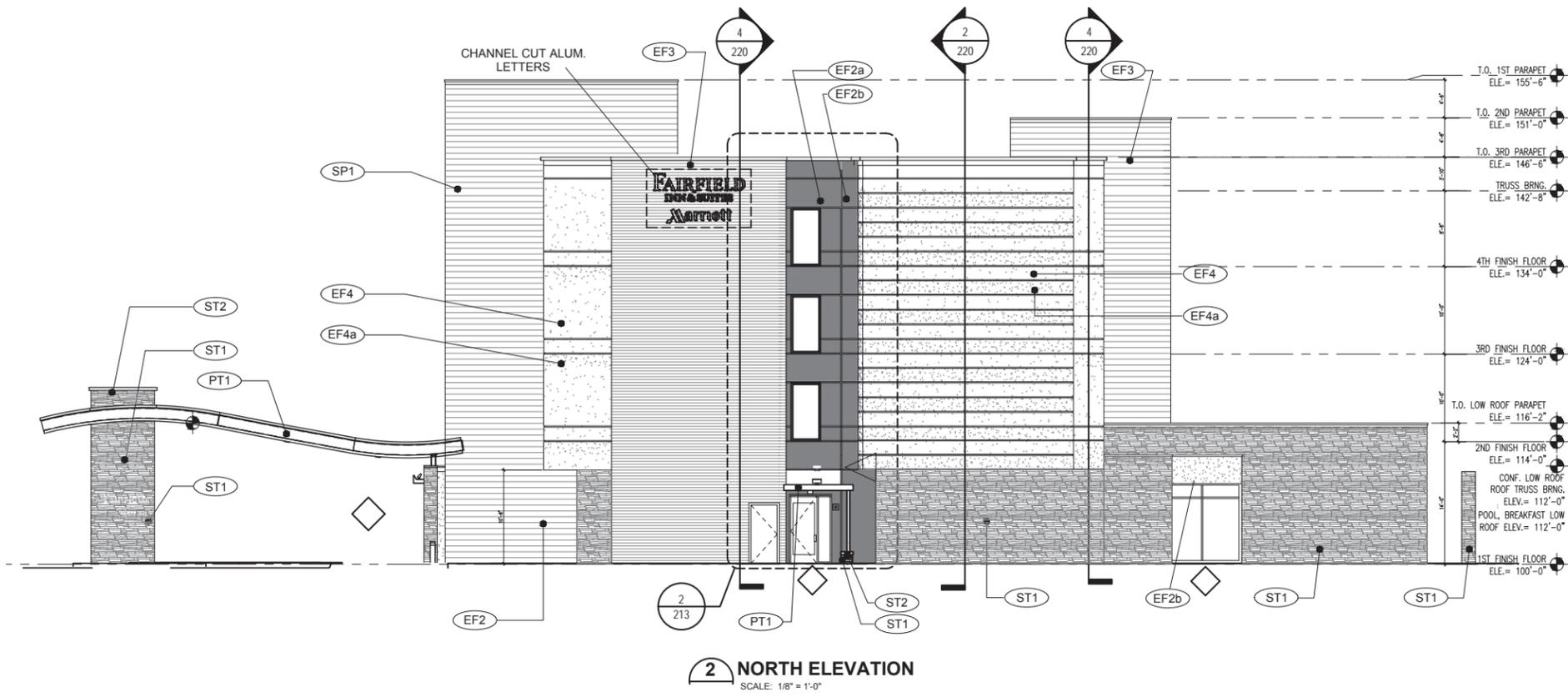
SHEET NUMBER:
A301

drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.

EXTERIOR FINISH KEY

- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF2a ACCENT EIFS COLOR
- EF2b DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAIR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- ST2 COPING
- PT1 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIAS, ETC.

EXTERIOR COLOR OPTION: GREY SLATE SCHEME SHALL BE USED AS THE BASE SCHEME AS DESCRIBED IN MARRIOTT EXTERIOR FINISH INDEX. OWNER WILL WORK WITH ARCHITECT AND CONTRACTOR DURING SUBMITTAL PHASE TO REFINE COLORS AND MAKE FINAL MATERIAL COLOR SELECTIONS FROM SAMPLES AND FIELD MOCKUPS AS NEEDED.



3-001 Fairfield Inn & Suites-Gen 4 - South Columbus, Indiana\000 - WEES\VR- Exterior Building Elevations.dwg - sora -- Wednesday September 07, 2016, 8:33am --- Copyright, 2016



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PROJECT NO: 16-001
ISSUE DATE: 09/07/2016
PROJECT MANAGER: D.McA
DRAWN BY: S.A.H.
DRAWER NO: x

REVISIONS:

No.	Description	Date
1	REPLACED EIFS WITH STONE	8/9/16

**96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD**
South Columbus, Indiana

PROJECT PHASE:
CONSTRUCTION DOCUMENTS-
APPROVAL PENDING

SHEET DESCRIPTION:
EXTERIOR ELEVATIONS

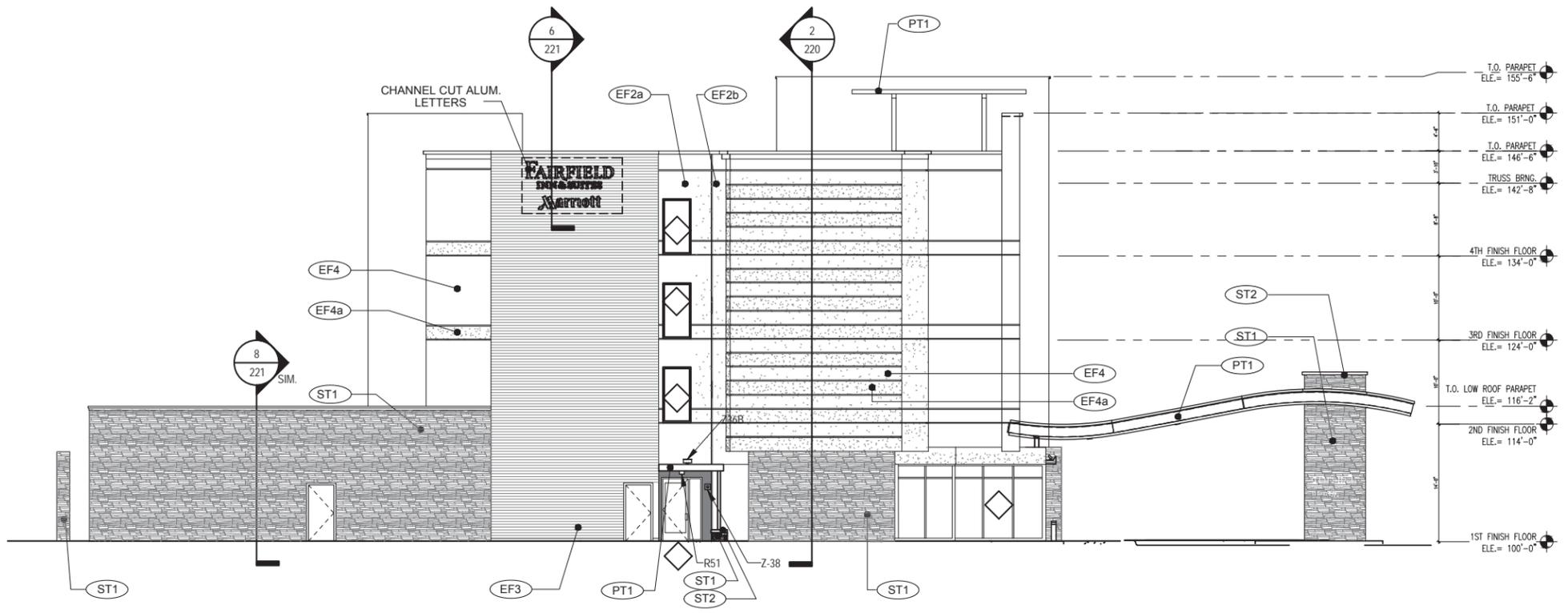
SHEET NUMBER:
A302

Drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.

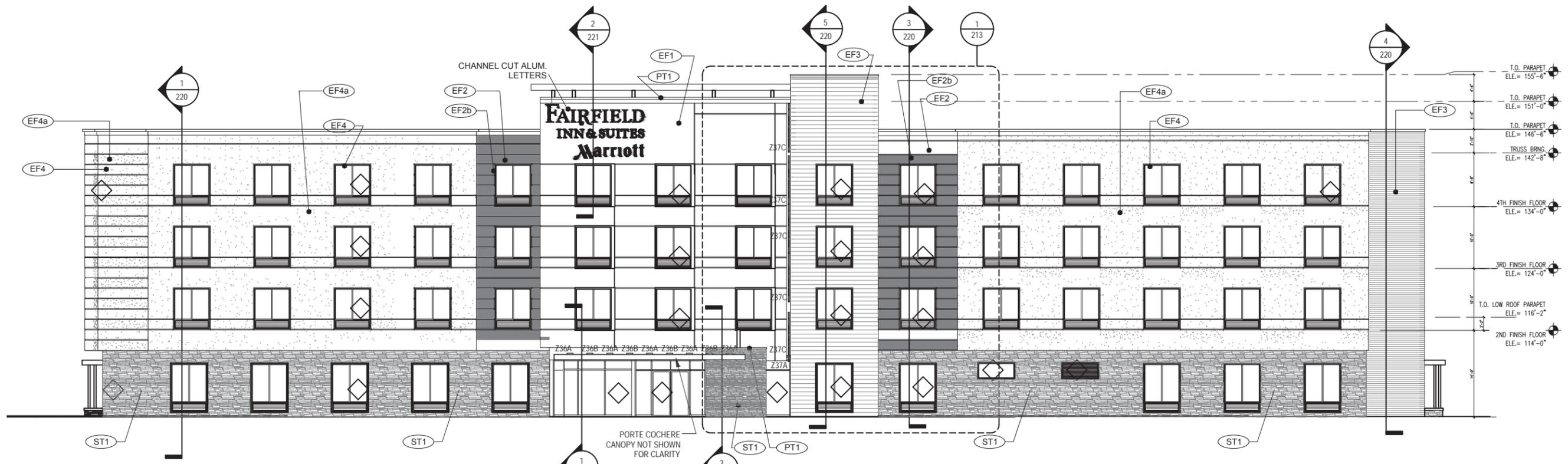
EXTERIOR FINISH KEY

EF1	PEARLESCENT ACCENT EIFS FINISH
EF2	DARK EIFS FINISH COLOR
EF2a	ACCENT EIFS COLOR
EF2b	DARK EIFS FINISH COLOR - TEXTURED
EF3	STAIR TOWER EIFS COLOR
EF4	MAIN BUILDING EIFS COLOR
EF4a	ACCENT EIFS COLOR
ST1	CULTURED STONE
ST2	COPING
PT1	PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIAS, ETC.

EXTERIOR COLOR OPTION: GREY SLATE SCHEME SHALL BE USED AS THE BASE SCHEME AS DESCRIBED IN MARRIOTT EXTERIOR FINISH INDEX. OWNER WILL WORK WITH ARCHITECT AND CONTRACTOR DURING SUBMITTAL PHASE TO REFINE COLORS AND MAKE FINAL MATERIAL COLOR SELECTIONS FROM SAMPLES AND FIELD MOCKUPS AS NEEDED.



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION



WEST ELEVATION



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ISSUE DATE: 09/07/2016
PROJECT MANAGER: D.M.A.
DRAWN BY: S.A.H.
DRAWER NO: x

REVISIONS:		
No.	Description	Date
1	REPLACED EFS WITH STONE	8/9/16

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PROJECT PHASE:
CONSTRUCTION
DOCUMENTS-
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PROJECT PROGRESS:
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SHEET DESCRIPTION:
SOUTH AND EAST
COLORED ELEVATIONS

SHEET NUMBER:
A-303

N:\16-001 Fairfield Inn & Suites-den 4 - South Columbus, Indiana\U - Drawing Sheets\001 - Cover Sheet.dwg - sara -- Friday August 12, 2016, 11:17am -- Copyright 2016



SOUTH ELEVATION



EAST ELEVATION



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PROJECT NO: 16-001
ISSUE DATE: 09/07/2016
PROJECT MANAGER: D.McA
DRAWN BY: S.A.H.
DRAWER NO: x

REVISIONS:
No. Description Date
1 REPLACED EFS WITH STONE 8/9/16

**96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD**
South Columbus, Indiana

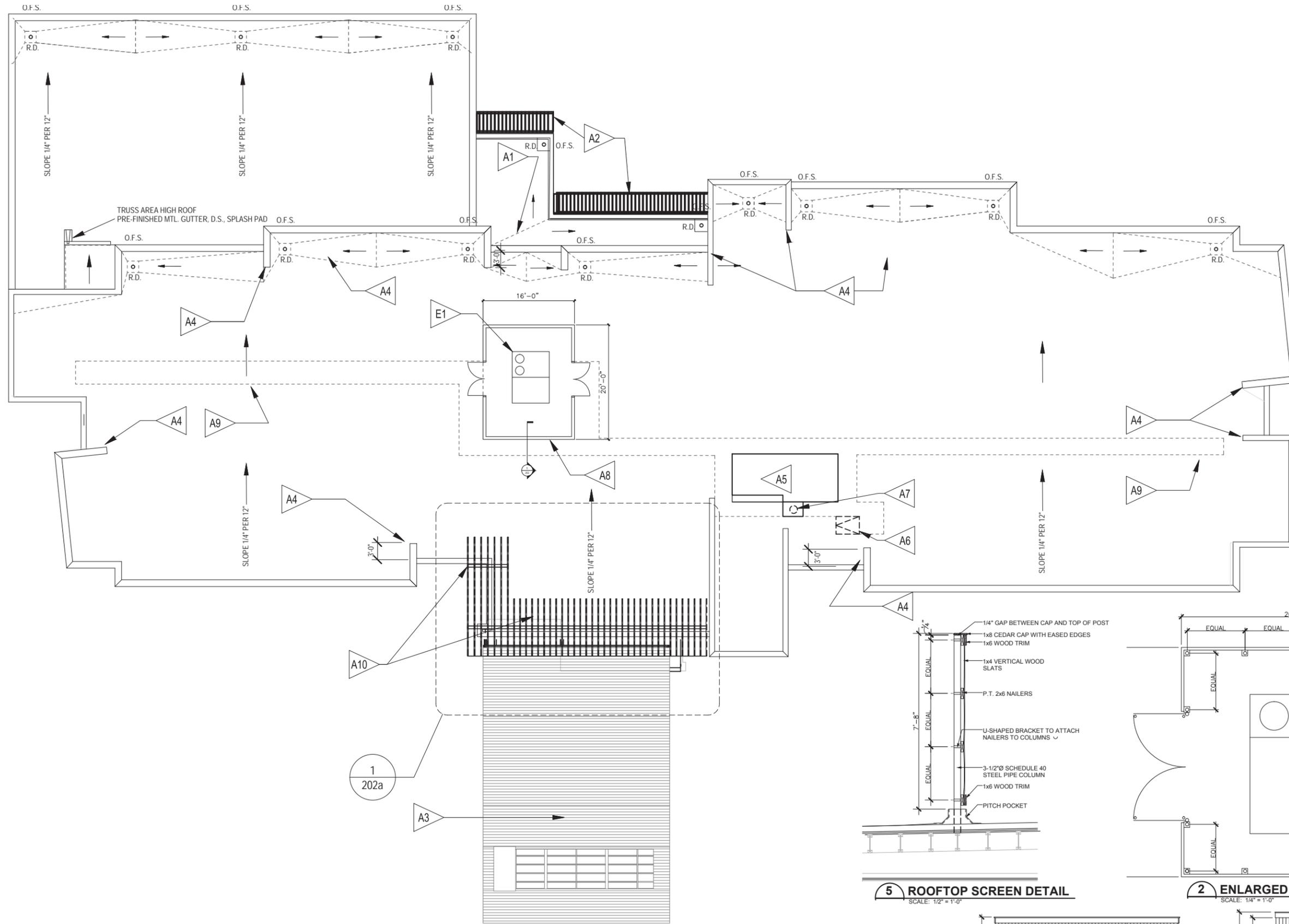
PROJECT PHASE:
CONSTRUCTION DOCUMENTS-
APPROVAL PENDING

PROJECT PROGRESS:
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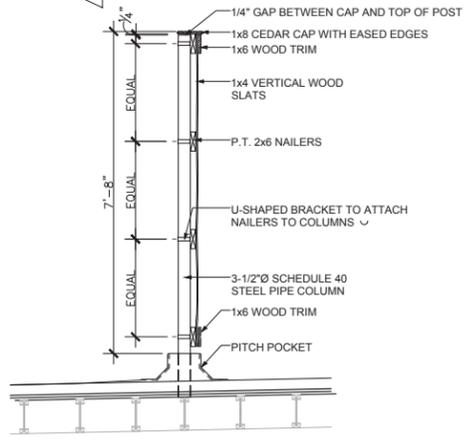
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NORTH AND WEST
COLORED ELEVATIONS

SHEET NUMBER:
A-303a

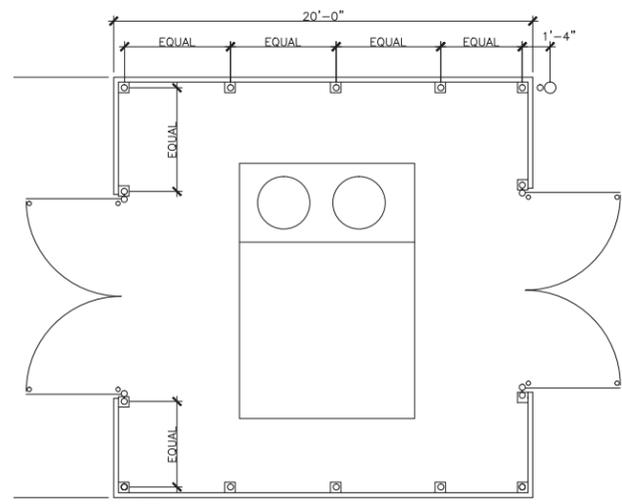
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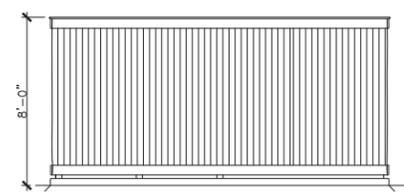
1 ROOF PLAN
SCALE: 1/8" = 1'-0"
PLAN TRUE
NORTH



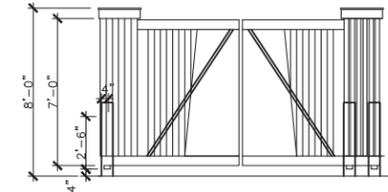
5 ROOFTOP SCREEN DETAIL
SCALE: 1/2" = 1'-0"



2 ENLARGED ROOFTOP SCREEN
SCALE: 1/4" = 1'-0"



3 ROOFTOP SCREEN
SCALE: 1/4" = 1'-0"



4 ROOFTOP SCREEN
SCALE: 1/4" = 1'-0"

REFERENCE NOTES

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET.
- B. REFER TO EXTERIOR FINISH INDEX FOR ADDITIONAL INFORMATION.

GENERAL NOTES

1. THE ROOFING SUB-CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE ROOF CONSTRUCTION INCLUDING BUT NOT LIMITED TO: ROOF DRAINS; OVERFLOW SCUPPERS; ROOF SLOPE PER CODE AND COORDINATED WITH STRUCTURAL, ALL EQUIPMENT; ROOF ACCESS HATCH AND ALL FLASHING.
2. THE ROOF SHADE CANOPY DETAILS ARE PROVIDED ONLY TO SHOW INTENT OF ALUMINUM FRAMING AND LAYOUT. REFER STRUCTURE AND ARCH. FOR DETAILS.

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

ARCHITECTURE:

- A1 LOWER LEVEL ROOF AT GROUND FLOOR.
- A2 DECORATIVE LOUVERED ROOF COVERING AT GROUND FLOOR.
- A3 PORTE-COCHERE ROOF BELOW.
- A4 PARAPET WALLS - SEE EXTERIOR ELEVATIONS FOR HEIGHTS AND FINISHES. INDICATE DECORATIVE EXTENSIONS AS SHOWN FROM ADJACENT WALL.
- A5 ELEVATOR OVER RUN ENCLOSURE.
- A6 ROOF TOP ACCESS HATCH & ACCESS HATCH CURB
- A7 LINEN CHUTE VENT CAP.
- A8 SCREENED ENCLOSURE FOR ROOF TOP EQUIPMENT RE: 2-SIA202
- A9 EQUIPMENT ACCESS WALKWAY.
- A10 PREFINISHED ALUMINUM FRAMED ROOF SHADE CANOPY. SEE DETAILS THIS SHEET.
- A11 ROOF SHADE CANOPY TOP PURLINS TO BE 2" X 6" PREFINISHED ALUMINUM TUBES. SEE EXTERIOR FINISH SCHEDULE FOR FINISH AND MATERIAL SPECIFICATION.
- A12 ROOF SHADE CANOPY MAIN BEAMS TO BE 6" X 6" PREFINISHED ALUMINUM TUBES. SEE EXTERIOR FINISH SCHEDULE FOR FINISH AND MATERIAL SPECIFICATION.
- A13 ROOF SHADE CANOPY COLUMNS TO BE 6" X 6" PREFINISHED ALUMINUM TUBES. SEE EXTERIOR FINISH SCHEDULE FOR FINISH AND MATERIAL SPECIFICATION.
- A14 ROOF SHADE CANOPY FRONT FASCIA TO BE 6-1/4" 3MM PREFINISHED ALUMINUM WITH 2" RETURN TOP AND BOTTOM. SEE EXTERIOR FINISH SCHEDULE FOR FINISH AND MATERIAL SPECIFICATION.



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REVISIONS:

No.	Description	Date

96 Room Fairfield Inn & Suites
LOT 7B COLUMBUS CROSSING PUD
South Columbus, Indiana

PROJECT PHASE:
CONSTRUCTION
DOCUMENTS-
APPROVAL PENDING
PROJECT PROGRESS:
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SHEET DESCRIPTION:
ROOF PLAN &
ROOFTOP SCREEN
SHEET NUMBER:
A304

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