



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (July 9, 2014 Meeting)

Docket No. / Project Title: PP-14-05 (Wildflower Estates 3)
Staff: Allie Keen
Applicant: JOLI Development, LLC
Property Size: 27.15 Acres
Current Zoning: RS3 (Residential: Single-Family 3)
Location: Located at the intersection of Wild Orchid Way and Daylily Drive, approximately 1,313 feet north of County Road 200 South, in the City of Columbus.

Background Summary:

The applicant has indicated that the proposed subdivision is for the purpose of subdividing approximately 27.15 acres into 16 lots and 1 block. Subsequently, the applicant is requesting the following 3 modifications from the Subdivision Control Ordinance:

1. A modification from Section 16.24.030(Table 16.24-1) of the Subdivision Control Ordinance for the purpose of installing 30 foot wide streets, 1 foot wider than permitted for a Local, Residential, Suburban street.
2. A modification from Section 16.24.030(Table 16.24-1) of the Subdivision Control Ordinance for the purpose of installing 4 foot wide sidewalks, 1 foot less than required.
3. A modification from Section 16.24.070(A) of the Subdivision Control Ordinance requiring the installation of street trees on as a part of all major subdivisions along local streets. The applicant is requesting relief of this requirement.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application: Should the existing street design (street width, sidewalk width, and street trees) in the Wildflower development be matched, or should the proposed subdivision meet the requirements of the Subdivision Control Ordinance?

Preliminary Staff Recommendation:

Approval with all modification requests, contingent on the technical comment being addressed.

Plan Commission Options:

In reviewing a request for *major subdivision approval*, the Plan Commission shall (1) approve the request if the proposal meets the minimum standards of the Subdivision Control Ordinance, (2) deny the request if the minimum standards of the Ordinance are not met and appropriate modifications are not obtained, or (3) continue the request to gather further information or otherwise as provided by the Plan Commission Rules of Procedure (per Subdivision Control Ordinance Section 16.40.050).

Modification Decision Criteria:

Indiana law and Columbus Subdivision Control Ordinance Section 16.40.050 require that the Plan Commission approve all subdivisions which meet the applicable requirements. Section 16.32.020 of the

Subdivision Control Ordinance indicates that the Plan Commission may grant a modification of the requirements of the Ordinance upon the determination that each of the following is true:

1. The modification will not be detrimental to the public, health, safety, and general welfare.
2. Adjacent property will not be adversely affected.
3. The modification is justified because of exceptional topographic or other physical conditions unique to the property involved, as opposed to mere inconvenience or financial disadvantage.
4. The modification is consistent with the intent of the Zoning Ordinance, other applicable ordinances, and the Comprehensive Plan.
5. The condition necessitating the modification was not created by the owner or applicant.
6. The modification will not conflict with the requirements of the Zoning Ordinance including but not limited to lot area, lot frontage, lot width, and setback(s).

Outstanding Technical Comments:

The following outstanding technical comments must be addressed by the applicant: Show the sidewalk ramp locations on sheet 5 for the proposed subdivision.

Current Property Information (entire subdivision site):	
Land Use:	Undeveloped
Site Features:	Opossum Creek regulated drain, trees along property boundaries, access easements, and drainage and utility easements.
Flood Hazards:	A portion of the property falls within the 100-year floodway fringe and within the identified floodway.
Special Circumstances: (Airport Hazard Area, Wellfield Protection Area, etc.)	This property falls entirely within the 5-year time of travel Wellfield Protection Overlay District.
Vehicle Access:	This property gains access from Wild Orchid Way (Local, Residential, Suburban) and Daylily Drive (Local, Residential, Suburban).

Surrounding Zoning and Land Use (entire subdivision site):		
	Zoning:	Land Use:
North:	AP (Agriculture: Preferred)	Agriculture
South:	RS3 (Residential: Single-Family 3)	Single-Family Residential (Wildflower Commons)
East:	AP (Agriculture: Preferred)	Agriculture

West:	RS3 (Residential: Single-Family 3) RS2 (Residential: Single-Family 2)	Agriculture/Undeveloped Single-Family Residential (Wildflower Estates 2)
--------------	--	---

Interdepartmental Review:	
City Engineering:	No comments.
City Utilities:	No comments provided.
Parks Department:	No comments provided.
MPO:	No comments provided.

History of this Location:

The relevant history of this property includes the following:

1. On June 16, 2009, the Columbus City Council approved a rezoning application (RZ-09-06) to rezone the subject property from RS2 (Residential: Single-Family 2) to RS3 (Residential: Single-Family 3). No conditions were included as a part of the approval.
2. On May 23, 2013, a preliminary plat for Wildflower Estates 3 (PP-13-03), was reviewed at the City of Columbus Subdivision Review Committee meeting. Following that meeting, that plat was never taken to the City of Columbus Plan Commission at the request of the applicant and has expired.

History of this Application:

The relevant history of this application includes the following: The Subdivision Review Committee met on June 19, 2014, reviewed this application, and forwarded it to the Plan Commission. The following outstanding comments have not been addressed: Show the sidewalk ramp locations on sheet 5 for the proposed subdivision.

Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. This proposed preliminary plat is a part of the Wildflower residential neighborhood which is comprised of 3 other preliminary plats (Wildflower Estates 1, Wildflower Estates 2, and Wildflower Commons) and currently has a total of 166 approved lots. The applicants at this time are proposing the 4th preliminary plat for the neighborhood, which will be comprised of 16 new lots and one block that is intended to be subdivided in the future.
2. Section 16.24.030(Table 16.24-1) of the Subdivision Control Ordinance allows for Local, Residential, Suburban streets to have a maximum width of 29 feet. This width includes the following: 8.5 foot travel lanes, 4 foot parking lanes, and 2 foot curb and gutter. The applicants are proposing a street width of 30 feet for the purpose matching the existing street width throughout the Wildflower development. The pavement on the streets will have 9 foot travel lanes as opposed to the required 8.5 foot lanes.
3. The Subdivision Control Ordinance standards changed in 2010 and also included the standards for sidewalk widths changing from 4 feet to 5 feet. All other subdivisions in the Wildflower neighborhood have been approved with 4 foot wide sidewalks. The applicant is requesting a modification to reduce the sidewalk width from 5 feet to 4 feet in order to be consistent with other sections and to provide a smooth transition between them.
4. Section 16.24.070(A) of the Subdivision Control Ordinance, requires street trees to be installed with all major subdivisions along local and collector streets as specified by the Design Elements Tables

(Tables 16.24-1 and Table 16.24-2). The applicant is requesting a modification in order to waive the street tree requirement for the purpose of keeping the street design consistent throughout the entire Wildflower development. All other approved plats within the Wildflower development do not include street trees.

5. The subdivision is located within the Wellfield Protection Overlay District. The intent of the overlay's regulations is to prevent land uses and certain development practices from degrading the water quality to the City's water supply. The Wellfield Protection Overlay District does not require any special approval for residential uses.

Subdivision Control Ordinance Consideration(s):

The following provisions of the Subdivision Control Ordinance apply to the key issues of this application:

1. Section 16.24.030(Table 16.24-1) Design Elements for Local Streets: The pavement width for a Local, Residential, Suburban street with parking on both sides shall be 29 feet (8.5 foot wide travel lanes and 4 foot wide parking lanes).
2. Section 16.24.030(Table 16.24-1) Design Elements for Local Streets: Required sidewalks shall be 5 feet in width.
3. Section 16.24.070(A) General Street Tree Requirements: Street trees shall be a required component of the public improvements in all major subdivisions along all local streets.

Columbus – Bartholomew County Planning Department
Subdivision Application



Planning Department Use Only:

Jurisdiction: Columbus Bartholomew County Joint District

Docket No.: PP-14-05

Subdivision Application:

Subdivision & Application Type: Major - Concept Approval Major - Primary Approval
 Minor (Primary & Secondary Approval) Agriculture Administrative

Subdivision Name: WILDFLOWER ESTATES 3

Applicant Information:

Name JOLI DEVELOPMENT, LLC

Address 4511 EAST BASE RD. COLUMBUS IN 47201
(number) (street) (city) (state) (zip)

Phone No.: 379-4055 Fax No.: _____ E-mail Address: lceve2020@comcast.net

Property Owner Information (the "owner" does not include tenants or contract buyers):

Name: JOLI DEVELOPMENT, LLC

Address 4511 EAST BASE RD. COLUMBUS IN 47201
(number) (street) (city) (state) (zip)

Phone No.: 379-4055 Fax No.: _____ E-mail Address: lceve2020@comcast.net

Property Information:

Property Size: _____ acres or _____ square feet.

Township: COLUMBUS

Address _____
(number) (street) (city) (state) (zip)

or General Location (if no address has been assigned provide a street corner, subdivision lot number, etc):

AT THE NORTH END OF DAYLILY DRIVE, NORTH OF WILDFLOWER COMMONS, AND AT THE EAST END OF WILD ORCHID WAY, EAST OF WILDFLOWER ESTATES 2.

Existing Number of Parcels: 2 (includes total number of lots, parcels, blocks, etc.)

Proposed Number of Parcels: 16 (Includes total number of lots, parcels, blocks, etc.)

Professional Land Surveyor Information:

Name: TED DARNALL - CROWDER AND DARNALL LAND SURVEYING

Address 826 THIRD ST. COLUMBUS IN 47201
(number) (street) (city) (state) (zip)

Phone No.: 376-3391 Fax No.: 376-9190 E-mail Address: ted@crowderanddarnall.com

Notification Information (list the person to whom all correspondence regarding this application should be directed):

Name: TED DARNALL - CROWDER AND DARNALL LAND SURVEYING

Address 826 THIRD ST. COLUMBUS IN 47201
(number) (street) (city) (state) (zip)

Phone No.: 376-3391 Fax No.: 376-9190 E-mail Address: ted@crowderanddarnall.com

How would you prefer to receive information (please check one): Email Phone Fax Mail

Applicant's Signature:

The information included in and with this application is completely true and correct to the best of my knowledge and belief.

Joseph McCanner
(Applicant's Signature)

6/5/14
(Date)

Owner's Signature (the "owner" does not include tenants or contract buyers):

I authorize the filing of this application and will allow the Planning Department staff to enter this property for the purpose of analyzing this request. Further, if required by the Plan Commission Rules of Procedure, I will allow a public notice sign to be placed and remain on the property until the processing of the request is complete. **Note: All property owners must sign this application.**

Joseph McCanner
(Owner's Signature)

6/5/14
(Date)

(Owner's Signature)

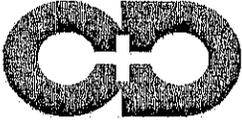
(Date)

(Owner's Signature)

(Date)

(Owner's Signature)

(Date)



CROWDER & DARNALL, INC.
LAND SURVEYING

Brian Scott Crowder, PLS
Ted P. Darnall, PLS
George A. Crowder, PE-PLS 1916-2003
Gene W. Darnall, LS 1928-1984

June 24, 2014

City of Columbus Planning Commission
123 Washington Street
Columbus, IN 47201

Re: WILDFLOWER ESTATES 3 MAJOR SUBDIVISION

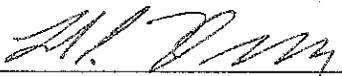
Dear Plan Commission,

On behalf of my client, Joli Development, LLC, I am hereby requesting a modification to the following sections of the City of Columbus subdivision control ordinance;

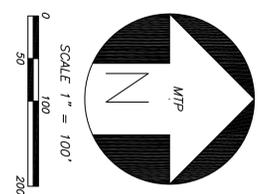
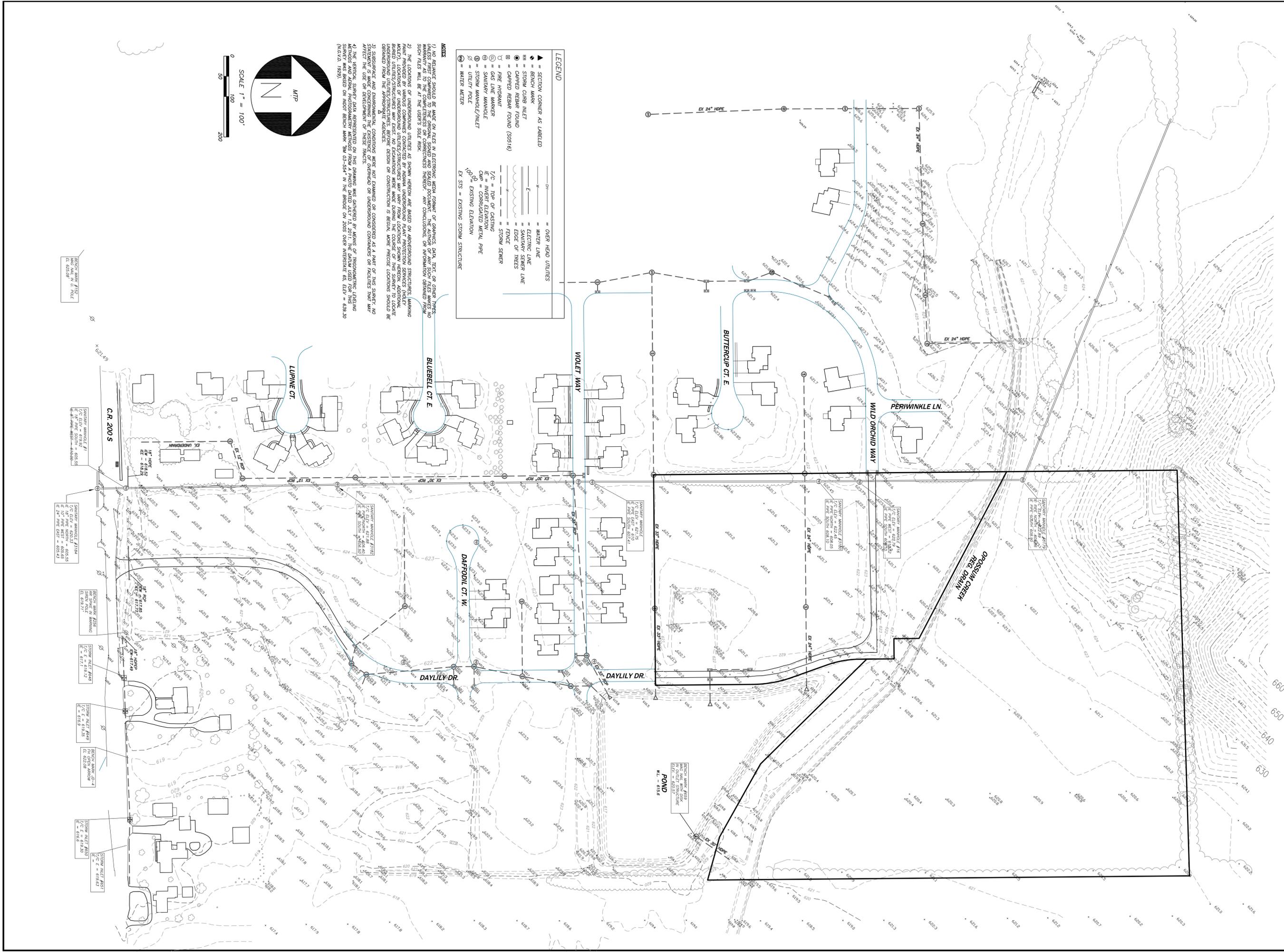
- Table 16.24-1. The table allows for a maximum street width (including curbs) to be only 29'. A modification is being requested to allow for a 30' wide street .
- Section 16.24.060 & Table 16.24-1. This section requires a 5' wide sidewalk. A modification is being requested to allow for a 4' wide sidewalk.
- Section 16.24.070. This section requires Street trees. A modification is being requested to allow no street trees.

The previous sections of the Wildflower developments have not been required to install street trees, and have been constructed with 30' wide streets and 4' wide sidewalks. Additionally the water mains have been installed in the location of the required street trees. Without the requested modifications the transitions between the old and new sections would be troublesome and difficult to construct.

Thank you for your consideration in this matter,



Ted P. Darnall, PLS



LEGEND

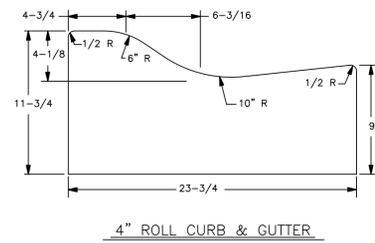
▲ SECTION CORNER AS LABELED	—	OVER HEAD UTILITIES
◆ BENCH MARK	—	WATER LINE
● STORM CURB INLET	—	ELECTRIC LINE
◻ CAPPED REBAR INLET	—	SEWER LINE
◻ CAPPED REBAR FOUND (50916)	—	EDGE OF TREES
—	—	FENCE
—	—	STORM SEWER
—	—	PIPE HYPHANT
—	—	GAS LINE MARKER
—	—	SAWDRY MARKER
—	—	STORM MANHOLE/INLET
—	—	UTILITY POLE
—	—	EXISTING ELEVATION
—	—	EXISTING STORM STRUCTURE
—	—	WATER METERS

NOTES

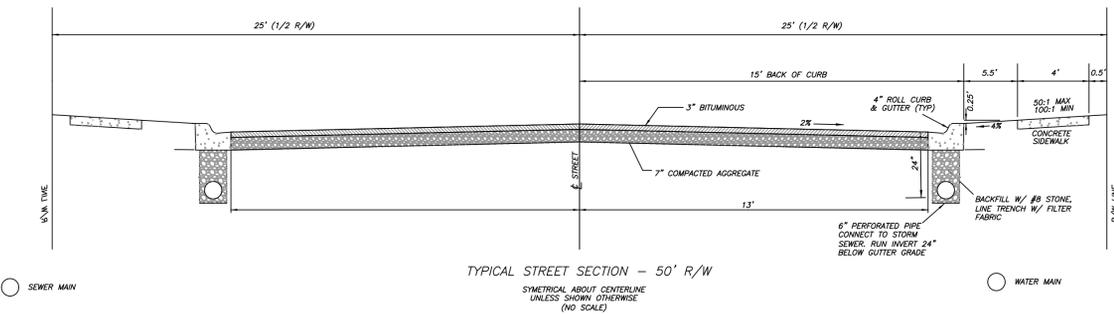
- 1) NO REVISIONS SHOULD BE MADE ON FILES IN ELECTRONIC MEDIA FORMAT OF GRAPHICS, DATA, TEXT, OR OTHER TYPES, UNLESS FIRST COMPARED TO THE ORIGINAL SOURCE AND SEALED COPY OF ANY SUCH FILES. ANY SUCH REVISIONS MUST BE AT THE USER'S SOLE RISK.
- 2) THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON AEROPHOTODUPLICATION SERVICES (AEROPHOTODUPLICATION SERVICES) PROVIDED BY VARIOUS COMPANIES CONTRACTED BY INDIANA UNDERGROUND PLANT PROTECTION SERVICES (IUPPS). LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES/STRUCTURES, BEFORE DESIGN OR CONSTRUCTION IS BEGUN, MORE PRECISE LOCATIONS SHOULD BE OBTAINED FROM THE APPROPRIATE AGENCIES.
- 3) SURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY, AND AFFECT THE USE OR ENVIRONMENT OF THESE TRAILS.
- 4) THE VERTICAL SURVEY DATA REPRESENTED ON THIS DRAWING WAS OBTAINED BY MEANS OF REPRODUCTION, LENSING METHODS AND AERIAL PHOTOGRAMMETRY METHODS FROM A PHOTO DATED JULY 13, 2011. THE DATA USED FOR THIS SURVEY WAS BASED ON INDOT BENCH MARK TM 03-554 IN THE BRIDGE ON 2005 OVER INTERSTATE 65. ELEV = 639.30 (NAD 83, 1983).

BENCH MARK #152
E.L. 626.00
1/2" PINE WEST = 605.55
1/2" PINE SOUTH = 605.55
1/2" PINE NORTH = 605.55
1/2" PINE EAST = 605.55

<p>REVISIONS</p> <p>ADD NEW HOUSES, UPDATE SPOTS & CONTOURS 9/09/2013</p> <p>ADD NEW FILL, UPDATE SPOTS & CONTOURS 8/29/2014</p> <p>ADD SEC. 3 BOUNDARY, INSC. PER SRC 8/29/2014</p>	<p>NO. DATE</p> <p>1 6/02/2013</p> <p>2 9/09/2013</p> <p>3 8/29/2014</p>	<p>CERTIFIED BY:</p> <p>TED P. DARNALL REGISTERED NO. 9600006 STATE OF INDIANA LAND SURVEYOR</p>	<p>PREPARED FOR:</p> <p>JOE & LISA CONNER 4511 E. BASE RD. COLUMBUS, IN 47201</p>
<p>FILE NAME: G:\2006\TOPO 030513</p> <p>DRAWN BY: T.P. DARNALL</p> <p>DATE: 6/01/13</p>		<p>WILDFLOWER ESTATES SEC. 3 PART OF SEC. 1 SECTION 34, 19N, 9E COLUMBUS, INDIANA</p>	<p>TOPOGRAPHY</p>
<p>JOB NO. 2006-03</p>		<p>SHEET: 3</p>	<p>CROWDER & DARNALL, INC. LAND SURVEYING 1000 W. WASHINGTON ST. COLUMBUS, INDIANA 47201 PH 812-376-3391 FAX 812-376-9190 ted@crowderanddarnall.com</p>



4" ROLL CURB & GUTTER



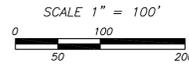
TYPICAL STREET SECTION - 50' R/W

SYMMETRICAL ABOUT CENTERLINE
UNLESS SHOWN OTHERWISE
(NO SCALE)

LOT#	BFE	FPG
LOT 176	623.0	625.0
LOT 180	623.5	625.5
LOT 181	623.5	625.5

LEGEND

- 100.00 - EXISTING ELEVATION
- [100.00] - PROPOSED ELEVATION
- HP - HIGH POINT
- LP - LOW POINT
- ME - MATCH EXISTING
- > - DIRECTION OF FLOW
- ☐ - EXIST. CURB INLET
- ⊙ - EXIST. STORM MANHOLE
- ▽ - STORM PIPE OUTLET/END SECTION
- STS - STORM SEWER STRUCTURE (SEE TABLE)
- EXISTING STORM SEWER
- RCP - REINFORCED CONCRETE PIPE



REVISIONS

NO.	DATE	DESCRIPTION
1	6/05/14	RE-FILE PRELIM PLAT
2	6/23/14	CLARIFY EXIST. STORM SEWERS



CERTIFIED BY:

CROWDER & DARNALL, INC.
LAND SURVEYING
1000 W. 10TH STREET
COLUMBUS, INDIANA 47201
PH 812-376-3391
FAX 812-376-9190
ted@crowderanddarnall.com



WILDFLOWER ESTATES 3

PART OF SE 1/4 SEC. 34, T9N, R5E
COLUMBUS, INDIANA 47201

PRELIMINARY GRADING & DRAINAGE PLAN

FILE NAME: Q:\2006-03\prelim-wfe-3\grading-wfe-3.dwg
DRAWN BY: T.P. DARNALL DATE: 5-08-2013

JOB NO. 2006-03

SHEET: 4



IT IS AGAINST THE LAW (IC 8-1-26) TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO WORKING DAYS BEFORE COMMENCING WORK.

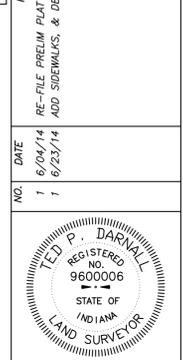
DIAL 811
OR
1-800-382-5544

I.U.P.P.S.
P.O. Box 50392
Indianapolis, IN 46250

REVISIONS
RE-FILE PRELIM PLAT
ADD SIDEWALKS, & DEAD END SIGN

DATE
6/04/14
6/23/14

NO.
1
1



CERTIFIED BY:

CROWDER & DARNALL, INC.
LAND SURVEYING
COLUMBUS, INDIANA 47201
PH 812-376-3391
FAX 812-376-9190
tel@crowderanddarnall.com



WILDFLOWER ESTATES 3
PART SE 1/4 SECTION 34, T9N, R9E
COLUMBUS, INDIANA

JOLI DEVELOPMENT
4511 EAST BASE ROAD
COLUMBUS, INDIANA 47201

PREPARED FOR:

FILE NAME: Q:\2006-03\prelim wfe-3\utility-wfe-3.DWG
DRAWN BY: T.P. DARNALL DATE: 8/08/2013

**PRELIMINARY
UTILITY & STREET PLAN**

JOB NO.
2006-03

SHEET:
5

LEGEND

- (A) - STOP SIGN
- (C) - TEMPORARY DEAD END/FUTURE CONSTRUCTION SIGN
- (L) - STREET LIGHT
- (R) - SIDEWALK RAMP
- (SM) - PROPOSED SANITARY MANHOLE
- (SM) - EXISTING SANITARY MANHOLE
- (F) - FIRE HYDRANT
- (GV) - GATE VALVE
- (TFH) - TEMPORARY FLUSH HYDRANT
- (H) - WATER MAIN TEE
- (HC) - WATER MAIN CROSS
- LFW - LINEAL FEET OF WATER MAIN.
- DIP - DUCTILE IRON PIPE
- W - WATER MAIN
- SS - SANITARY SEWER
- (G) - GUARD POSTS

UTILITY CONTACTS

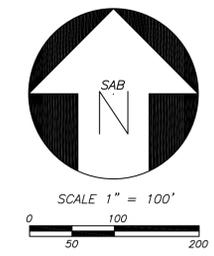
WATER/SEWER CITY OF COLUMBUS UTILITIES
ED BERGSEKER
BERGSEKER@COLUMBUSUTILITIES.ORG
1111 MCCLURE RD.
COLUMBUS, IN 47201
812.372.8861

GAS VECTREN ENERGY DELIVERY
CHRIS BALDWIN
CBALDWIN@VECTREN.COM
MIDDLE ROAD
COLUMBUS, IN 47203
812.348.6710

ELECTRIC DUKE ENERGY
JOEL COMPTON
JOEL.COMPTON@DUKE-ENERGY.COM
2727 CENTRAL AVE.
COLUMBUS, IN 47201
812.375.2004

PHONE AT&T
TROY BISHOP
TB2932@ATT.COM
420 SEVENTH ST.
COLUMBUS, IN 47201
812.376.2887

CABLE TV COMCAST
TOM DAVIS
THOMAS_DAVIS3@CABLE.COMCAST.COM
1470 JACKSON ST.
COLUMBUS, IN 47201
812.799.0915 EXT. 3108



STREET PLAN NOTES

- ALL STREET INTERSECTIONS SHALL HAVE TWO SIDEWALK RAMPS WITH INTERCONNECTING CROSSWALKS BETWEEN RAMPS PER QUADRANT. FOUR WAY INTERSECTIONS WILL HAVE EIGHT RAMPS AND FOUR CROSSWALKS, THREE WAY INTERSECTIONS WILL HAVE SIX RAMPS WITH THREE CROSSWALKS. SEE TYPICAL DETAIL HEREON.
- STREET SIGNS, LIGHTS, SIDEWALKS, RAMPS AND CROSSWALKS WILL BE SHOWN IN GREATER DETAIL ON THE FINAL CONSTRUCTION PLANS.

WATER SYSTEM NOTES

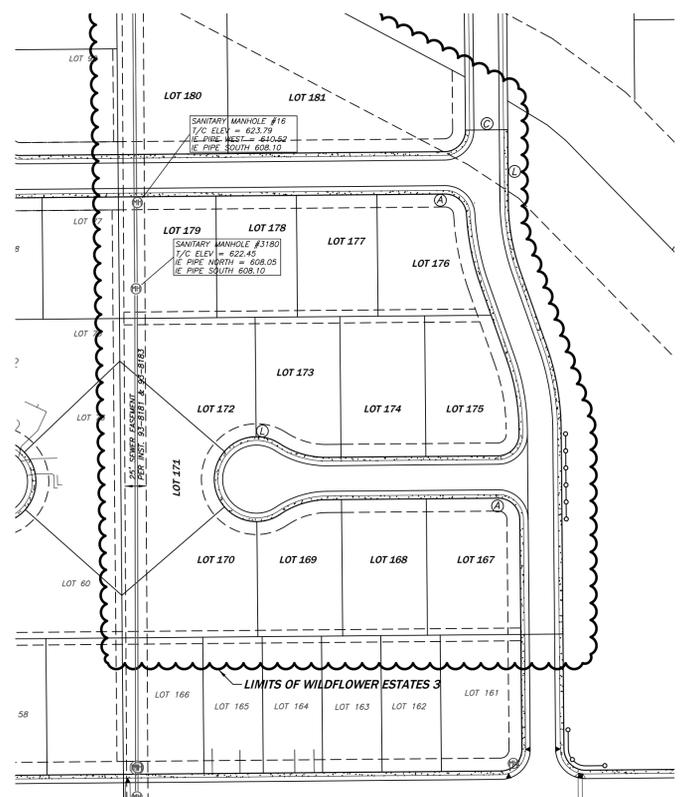
- TOP OF WATER MAIN TO BE PLACED AT A MINIMUM OF 4' BELOW FINISHED GRADE, UNLESS OTHERWISE NOTED ON THE PLANS.
- FIRE HYDRANTS TO BE LOCATED BETWEEN BACK OF CURB AND SIDEWALK & ON LOT LINES UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL WATER LINE TO BE ANSI/AWWA C151/A21.51 BITUMINOUS COATED DUCTILE IRON PIPE. THE PIPE INTERIOR SHALL BE CEMENT MORTAR LINED AND SEAL COATED IN COMPLIANCE WITH THE LATEST REVISION OF ANSI/AWWA C104/A21.4.
- WHERE WATER AND SEWER LINES CROSS AND AN 18" MINIMUM VERTICAL SEPARATION CANNOT BE MAINTAINED, THE SEWER LINE MUST BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR ASTM D-3034 SDR21 PVC SEWER PIPE WITH GASKETED, COMPRESSION TYPE JOINTS WITHIN 10' OF THE WATER LINE.
- IF A PARALLEL WATER AND SEWER LINES DO NOT MAINTAIN A MINIMUM OF 10' SEPARATION, THEN THE SEWER LINE MUST BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR ASTM D3034 SDR21 PVC SEWER PIPE WITH GASKETED, COMPRESSION TYPE JOINTS.
- PERIODIC OBSERVATION OF WORK IN PROGRESS SHALL BE PROVIDED BY COLUMBUS CITY UTILITIES. THE COLUMBUS CITY UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO HIS STARTING WORK AND PRIOR TO RESTARTING WORK AFTER DELAYS OR SHUT-DOWNS.
- ALL WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE COLUMBUS CITY UTILITIES SPECIFICATIONS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES IN THE CONSTRUCTION AREA AND VERIFY THE LOCATION OF EXISTING WATER MAINS.

SUBSTITUTIONS:

CERTAIN ITEMS IN THESE PLANS ARE IDENTIFIED BY SPECIFIC MODEL OR ITEM NUMBERS AS SUPPLIED BY NAMED MANUFACTURERS. THE ITEMS ARE SO SPECIFIED BECAUSE THEY EXHIBIT A PERFORMANCE STANDARD REQUIRED BY THE SPECIFIC SITE CONDITIONS. THESE ITEMS MAY ONLY BE SUBSTITUTED IF THE CONTRACTOR MAKES WRITTEN REQUEST OF THE DESIGNER, STATING THE MANUFACTURER AND MODEL OR ITEM NUMBER OF THE REQUESTED REPLACEMENT OF THE SPECIFIED ITEM. SUBSTITUTION MAY OCCUR AFTER THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM BOTH THE DESIGNER AND ALL APPROVING AGENCIES.

SANITARY SEWER NOTES

- ALL SANITARY SEWER PIPE IS TO BE SDR 35 PVC PRESSURE SEWER PIPE WITH COMPRESSION FITTINGS PER ASTM D-3034, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING. ALL JOINTS TO BE WATERTIGHT "O" RING TYPE PER ASTM SPECIFICATION C-443, LATEST EDITION.
- SEWER SHALL BE LAID AT LEAST TEN (10) FEET, HORIZONALLY, FROM ANY WATER MAIN. ADJUST THE WATER MAIN VERTICALLY IF IT CONFLICTS WITH ANY SANITARY OR STORM SEWER. MAINTAIN 4 FOOT OF COVER ON WATER MAIN. CROSSINGS OF BURIED SEWER AND WATER LINES SHALL BE AVOIDED AS MUCH AS POSSIBLE. HOWEVER, WHERE CROSSINGS ARE NECESSARY, A MINIMUM OF 18 INCHES VERTICAL CLEARANCE SHALL BE MAINTAINED (MEASURED FROM THE BOTTOM OF THE UPPER PIPE TO THE TOP OF THE LOWER PIPE), PREFERABLY WITH THE WATER MAIN ABOVE THE SEWER. WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION, THE SEWER SHALL BE CONSTRUCTED WITHIN 10 FEET EACH WAY OF THE WATER LINE OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR SDR 26 PVC PRESSURE SEWER PIPE IN ACCORDANCE WITH ASTM D-3034 WITH COMPRESSION FITTINGS, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- ALL STUBS AND SERVICE LATERALS SHALL BE 6" SDR 35 PVC PIPE AS NOTED. ALL STUBS AND SERVICE LATERAL RUNS SHALL BE PLUGGED WITH PLUGS HAVING RESILIENT JOINT MATERIAL MATCHING THAT OF THE PIPE JOINTS.
- CONTRACTOR IS TO PROVIDE A MEANS OF ACCESS TO ALL RESIDENCES AND BUSINESSES DURING CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE ADEQUATE EROSION CONTROL DURING CONSTRUCTION. ACCORDANCE WITH THE EROSION CONTROL PLAN.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS OF SECTION 15, 1990 OSHA EXCAVATION STANDARDS, 29 CFR 1926 SUBPART P.
- USE HEAVY DUTY NEENAH #R-1642, MANHOLE FRAME, SOLID LID WITH PICK HOLES FOR REMOVAL (OR EQUAL).
- WHERE MANHOLES OCCUR IN FLOOD PLAIN OR DITCH, USE WATERTIGHT CASTING AND LIDS. LOCATION AS SHOWN ON PLANS. WATERTIGHT MANHOLE CASTINGS SHALL BE FURNISHED WITH A ROUND RUBBER GASKET, CONCEALED WATERTIGHT PICKHOLES, AND BRONZE CAP SCREWS.
- FOR MANHOLE IN EXISTING PAVEMENTS, COVERS SHALL BE MATCH EXISTING GRADE.
- ALL SLOPES TO BE FINISHED WITH 1" OF THE TOP OF CASTING.
- ALL PRECAST CONES AND BARRELS TO BE REINFORCED PER ASTM SPECIFICATION C-476, LATEST EDITION.
- MANHOLE STEPS TO BE STANDARD PLASTIC WITH STEEL REINFORCING.
- DROP MANHOLES SHALL BE PROVIDED PER ASTM C-478 FOR ANY SEWER ENTERING A MANHOLE AT AN ELEVATION OF 24" OR MORE ABOVE MANHOLE INVERT; DROP PIPES TO BE OF THE SAME MATERIAL AS THE SEWER MAIN.
- ROOF DRAINS, FOUNDATION DRAINS, OR ANY OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- INSPECTION: PERIODIC OBSERVATION OF WORK IN PROGRESS WILL BE PROVIDED BY CROWDER AND DARNALL INC. OR THEIR DESIGNEE. THE SANITARY SEWER UTILITY SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO HIS STARTING WORK AND PRIOR TO RESTARTING WORK AFTER DELAYS OR SHUT-DOWNS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HEREON PLANS AND IN ACCORDANCE WITH ANY APPLICABLE FEDERAL, STATE, LOCAL CODES OR LAWS, AND COLUMBUS UTILITIES HANDBOOKS.



SIGN & STREET LIGHT PLAN

