



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (July 8, 2015 Meeting)

Docket No. / Project Title: PUDF-15-08 (White River Dental)
Staff: Ashley Klingler

Applicant: AWS Properties LLC
Property Size: +/- 2.27 Acres
Current Zoning: PUD (Planned Unit Development)
Location: The property is located at the north east corner of Johnson Boulevard and Merchants Mile.

Background Summary:

AWS Properties LLC is requesting approval of a Final PUD Plan for proposed Lot 9D of Columbus Crossing, which includes all of Lot 9A and a portion of Lot 9B. The proposal is for White River Dental, a detail office approximately 11,242 square feet in area.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application:

1. Is the proposed Final PUD consistent with the Preliminary PUD?
2. Is the building of a "quality design" consistent with the preliminary PUD approval?
3. Does the proposed landscaping meet the intent of the regulations by providing more trees but fewer shrubs in the parking lot frontage landscaping area?
4. Does the proposed landscaping meet the intent of the regulations by providing enough plantings in a smaller area in the parking lot interior landscaping area?
5. Is a 150 foot tall flag pole appropriate at this location?
6. Is it appropriate to have access off Johnson Boulevard?

Staff Recommendation:

Approval, with the following conditions:

1. The applicant must comply with the following technical comments:
 - a. The lot line will need to be moved in an administrative subdivision. Fill in the plat book numbers on page C10 and C20 (the plans currently have blanks). This can be done after the administrative subdivision. This is to be approved by the Planning Department.
 - b. On page C10, the road classification should be reformatted to be on one line.
 - c. On page A2.4, the sign #3 detail should read (3'-8") not ('3-8").
 - d. On page A2.4, the #4 sign detail label needs to be renamed to what is being shown.
 - e. On page L1.1, the flagpole height should be on the landscape plan.
 - f. As requested in Section C(2e) of the elevation certificate, please describe the type and location of equipment or machinery in the comments section. Please also check the box in Section D indicating that comments are provided on the back of the form.
 - g. Please correct the Flood Zoning note on the site plan and grading plan to indicate that the flood protection grade is 625.4 feet. (The finished floor elevation is 625.5 feet).

- h. Please correct the Flood Zoning Note on the site plan to read as follows: "Subject site is located in Flood Zone "X" Shaded and Flood Zone "AE", the 100-year floodway fringe, per the FIRM..."
 - a. Provide a spot elevation at 10 feet from the foundation on the east side of the building that indicates the elevation is at or above the BFE.
2. The changeable copy to non-changeable copy ratio on the monument sign must meet the PUD requirements. The area of the changeable copy elements shall not exceed 75% of the area of the non-changeable elements. This is to be approved by the Planning Department.
 3. The flagpole shall be limited to 32 feet in height.
 4. A Drainage Report must be submitted to and approved by the City Engineering Department.
 5. An Improvement in the Right of Way Permit will need to be filed with the City Engineer's Office before the construction of any items in the right of way.
 6. An IDEM Rule 5 Permit will be submitted and reviewed by the Engineering Department before any land disturbing activities can take place.

Current Property Information:	
Land Use:	Undeveloped
Site Features:	Grassy lawn, trees, edge of detention pond
Flood Hazards:	As shown on Flood Insurance Rate Map (FIRM) 18005C0129E, effective December 9, 2014, Lots 9A and 9B of Columbus Crossing are located in Flood Zone AE, more commonly called the 100-year floodway fringe, and Flood Zone X (Shaded), more commonly called the 500-year floodway fringe. The proposed Lot 9D of Columbus Crossing, which includes all of Lot 9A and a portion of Lot 9B, will be located in the same flood zones.
Vehicle Access:	Johnson Boulevard (Local, Commercial, Suburban) Merchants Mile (Local, Commercial, Suburban)

Surrounding Zoning and Land Use:		
	Zoning:	Land Use:
North:	CR (Commercial: Regional)	Detention pond, Sleep Inn farther north, Centra to the north-east
South:	PUD (Planned Unit Development)	Menard's
East:	PUD (Planned Unit Development)	Undeveloped, I-Hop to the north-west
West:	PUD (Planned Unit Development)	Undeveloped

Proposal / General Standards Summary:

The following table compares the proposed features of the development with the standards established by the Preliminary PUD and in a comparable zoning district. A check mark indicates that the proposal is consistent with these general standards. All project features must follow the Preliminary PUD, but additions to these requirements are subject to the discretion and approval of the Plan Commission.

Criterion / Status		Summary of PUD Proposal	Summary of Preliminary PUD Requirements	Summary of Zoning Ordinance Requirements
Permitted Uses:	✓	One-story dental office	As specified in the B-1 zoning district 17.26.030(G).	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (A) allows office uses as a permitted use.
Maximum Number of Buildings:	✓	One.	None.	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) allows one primary structure per lot.
Lot Coverage:	✓	13% lot coverage.	None.	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) requires maximum lot coverage to be 75%.
Building Height Limit:	✓	Indicated a maximum building height of 29 feet tall.	None.	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) has a no maximum building height for a primary structure.
Building Setbacks Required:	✓	Front Yard Setback: 68.6 ft. (South) 35.6 ft. (West) Side Yard Setback: 51.7 ft. (North) 195 ft. (East)	Front Yard Setback: As determined by the Plan Commission (typically 25 to 50 feet). Side Yard Setback: As determined by the Plan Commission (typically 10 feet). Rear Yard Setback: As determined by the Plan Commission (typically 10 feet).	<u>Commercial: Community Center (CR) zoning:</u> Section 3.21 (C) requires a 10 foot setback from all front, side, and rear yards.
Drainage:		No drainage plan submitted at this time.	Preliminary Drainage Plan required.	Section 12.9 (D)(2)(s) requires drainage plans for site development plans.

Architectural Review:	✓	Mix of materials including dark brick, gray brick, limestone, and metal.	The front sides of all retail buildings over 50,000 sq. ft. in gross floor area shall be brick or an equivalent material determined through the final PUD plan review process. Other facades shall be designed with appearance in mind, recognizing that the building will be highly visible from multiple angles.	None.
Parking Lot Setbacks Required:	✓	<i>Merchants Mile:</i> 10 ft. <i>Johnson Boulevard:</i> 10 ft.	None.	<u>Parking lot:</u> All parking lots are to be 10 feet from any front yard per Section 7.2 (B)(1).
Parking:	✓	<u>Vehicle Spaces:</u> 65 spaces provided, including 3 ADA spaces. <u>Bicycle Spaces:</u> 6	None	<u>Vehicle Spaces, Office use:</u> 34 spaces required per Section 7.1. Two of which need to be ADA accessible. <u>Bicycle Spaces:</u> 2
Driveway Separation:		<i>Merchants Mile:</i> 307 ft. <i>Johnson Boulevard:</i> 84.7 ft.	None.	Local Streets require 100 feet of driveway separation per (Section 7.3)(Part 1)(3)(c)(iii).
Wheel Stops:	✓	Provided in all parking spaces on site plan.	None.	Per Section 7.2 (Part 4)(A)(5)(c) of the Zoning Ordinance: "All required landscaped areas and pedestrian walkways which are perpendicular to parked vehicles shall be protected with wheel stops located in each space to prevent vehicles from overhanging the landscaped area or walkway. Parking spaces adjoining pedestrian walkways exceeding 7 feet in width shall be exempt from this requirement. A corresponding reduction in parking space length shall not be permitted."

Sidewalks:	✓	Existing 5 foot sidewalk along Johnson Boulevard and Merchants Mile	Sidewalks were already established in the original Columbus Crossing PUD.	<u>Thoroughfare Plan</u> : requires Local, Commercial, Suburban streets to have 5 foot wide sidewalks.
Sidewalks Linking Public Sidewalk to Building:	✓	There is a sidewalk proposed linking the sidewalk along Johnson Boulevard to the building entrance. There is no link from the sidewalk along Merchants Mile to the building entrance.	Sidewalks should be linked between the public sidewalk and building entrance.	Sidewalks should be linked between the public sidewalk and building entrance. Section 7.3(Part 2)(B) of the Zoning Ordinance.
Landscaping:		<p><u>Area #1</u>: 10 large trees, 2 medium trees, 3 small trees, 63 shrubs</p> <p><u>Area #2</u>: <i>Island/Peninsula</i>: 1825 total sq. ft. Some peninsulas are only 120 sq.ft.</p> <p><i>Plantings</i>: 6 trees, 39 shrubs.</p> <p><u>Area #3</u>: 62.5 points</p> <p><u>Area #4</u>: <i>Phase 1</i>= 1175 points (415 points within 15 ft. of the building)</p> <p><i>Phase 2</i>= 1160 points (490 points within 15 ft. of the building)</p> <p><i>Phase 3</i>= 1135 points (590 points within 15 ft. of the building)</p>	Landscaping for the PUD shall at a minimum meet the requirements of Chapter 17.43 of the Zoning Ordinance for B-5 commercial development and also at the Plan Commission's discretion. Final PUD plans for all buildings on the north side of Merchants Mile shall include landscaping and architectural treatment along both north and south sides of buildings.	<p>Section 8.1(C): <u>Area #1 Parking Lot Public Street Frontage</u>: (10 large trees or 12.5 medium trees) + 75 shrubs</p> <p><u>Area #2 Parking Lot Interior</u>: <i>Island/Peninsula</i>: 1862.35 sq. ft. Islands must be at least 300 sq.ft. and peninsulas must be at least 150 sq.ft.</p> <p><i>Plantings</i>: 6 trees and 36 shrubs</p> <p><u>Area #3 Front Setback</u>: 32.4 points</p> <p><u>Area #4 Lot Interior</u>: <i>Phase 1</i>= 86 points (21 points of which, must be within 15 ft. of the building)</p> <p><i>Phase 2</i>= 101 points (25 points of which, must be within 15 ft. of the building)</p> <p><i>Phase 3</i>= 115 points (29 points of which, must be within 15 ft. of the building)</p>
Street Trees:	✓	<p><i>Johnson Boulevard</i>: no trees proposed</p> <p><i>Merchants Mile</i>: 7 trees proposed</p>	<p><i>Johnson Boulevard</i>: no trees required</p> <p><i>Merchants Mile</i>: 7 trees required</p>	None.

Flagpole		Height: 150 feet	None.	Flagpole Height: 32 feet. (Article 10 of the Zoning Ordinance.)
HVAC Enclosure:	✓	Submitted a site plan showing location of screening. No elevation with sight lines provided.	Roof top units required to be screened.	None.
Signage:		<p><u>Monument:</u> Signs: 1 Total Sign Area: 71.55 sq.ft. Total Height: 6 ft. Material: Brick</p> <p><u>Changeable Copy Non-changeable portion:</u> 31.88 sq. ft.</p> <p><u>Changeable proposed:</u> 27.63 sq.ft. (87%)</p> <p><u>Wall:</u> Four signs (one per façade), each 49.84 sq.ft. in area (3.67 feet tall by 13.58 feet wide). Totaling 199.36 sq.ft.</p>	<p><u>Monument:</u> Shall not exceed six feet in height or 150 square feet in area. At least 200 feet of frontage shall be required for a monument sign. Typically approved by Plan Commission: bordered by brick, stone, or other quality building materials and integrated into the overall design of the building and site.</p> <p><u>Changeable Copy:</u> The changeable copy to non-changeable copy ratio must meet the PUD requirements. The area of the changeable copy elements shall not exceed 75% of the area of the non-changeable elements. (23.91 sq.ft. for the proposed sign)</p> <p><u>Wall:</u> Up to two signs per building façade, not to exceed five per establishment. Total square footage limited to 5% of the building façade not to exceed 200 square feet for buildings under 20,000 square feet in area. (200 ft. for this site)</p>	<p><u>Monument (free standing):</u> Max number per street frontage: 1 (2 allowed on this site). Max Area: 150 square feet. Max Height: 25 feet.</p> <p><u>Changeable Copy:</u> The area of the changeable copy elements shall not exceed 75% of the area of the non-changeable elements.</p> <p><u>Wall:</u> Max number per street frontage per use: 3. (6 allowed on this site) Maximum area, whichever is greater: 15% of wall area or 350 sq.ft. (350 for this site)</p> <p><u>Commercial: Community Center (CR) zoning:</u> Article 10 of the Zoning Ordinance allows: wall, freestanding, development entry, awning, projecting, changeable copy, time and temperature, roof-mounted, directional, directory, window, suspended, flag, pedestrian entry, banner, inflatable, and beacon signs.</p>

Trash Enclosure:	✓	6 foot tall 100% opaque screening.	None.	Screening consist of a 6 foot tall, 100% opaque fence of wood, stone, masonry, architectural metal, or other similar construction per Section 6.1(C)(2) of the Zoning Ordinance.
Lighting:	✓	Foot candles not to exceed 0.1 shown at the PUD boundary lines. Exterior light fixtures are shown to be 90 degree cut-off. 25 foot tall lights proposed, with 3 foot tall base.	Not to exceed 0.1 foot-candles at the PUD boundary lines. Exterior light fixtures to be 90 degree cut-off.	Per Section 9.4: 90 degree cut off fixtures are required. All such fixtures shall be limited to a maximum total height of 25 feet. Each free-standing light fixture may be provided with a base of up to 36 inches in height, which will not be included in the total height measurement.

Interdepartmental Review:	
City Engineering:	<ol style="list-style-type: none"> 1. Drainage Report is still needed for the site. 2. We would prefer that the site only have access off of Merchants Mile. There will be a relatively small amount of vehicular traffic to this site. This traffic will be spread out over the day without times of heavy activity. The single entrance on Merchants Mile should be sufficient for this amount of traffic. Also, north of this site on Johnson Boulevard is heavily congested. We would like to limit the number of conflict points on Johnson Blvd and reduce the possibility of accidents or additional congestion. In addition to this, we would prefer that Merchants Mile to be used as the main road for access to all of the businesses in this area. 3. The use of colored concrete and tines is not required on accessible ramps. 4. Tactile Warning Plates are only required at curb ramps for pedestrian street crossings. They are not required in parking lots or at driveway crossings. 5. An Improvement in the Right of Way Permit will need to be filed with the City Engineer's Office before the construction of any items in the right of way. 6. An IDEM Rule 5 Permit will be required before any land disturbing activities can take place
Fire Department:	The phases have code issues with door swing in waiting room areas.
Code Enforcement:	We do not see any issues with the project at this time.

Flood Plain Administrator:	<p>The following comments must be addressed:</p> <ol style="list-style-type: none"> 1. As requested in Section C(2e) of the elevation certificate, please describe the type and location of equipment or machinery in the comments section. Please also check the box in Section D indicating that comments are provided on the back of the form. 2. Please correct the Flood Zoning note on the site plan and grading plan to indicate that the flood protection grade is 625.4 feet. (The finished floor elevation is 625.5 feet). 3. Please correct the Flood Zoning Note on the site plan to read as follows: "Subject site is located in Flood Zone "X" Shaded and Flood Zone "AE", the 100-year floodway fringe, per the FIRM..." 4. Provide a spot elevation at 10 feet from the foundation on the east side of the building that indicates the elevation is at or above the BFE.
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History of this Location:

The relevant history of this property includes the following: A portion of the Columbus Crossing received partial PUD rezoning and preliminary PUD approval in 2001 (PUD-01-02) and the remainder received partial preliminary PUD rezoning and approval in 2002 (PUD-02-01). The Preliminary PUD Plan approval was completed in 2003 (PUD-02-11). The total development consists of approximately 169.95 acres. The proposed office building will occupy the proposed Lot 9D of Columbus Crossing, which includes all of Lot 9A and a portion of Lot 9B. This lot is located at the northeast corner of Johnson Boulevard and Merchants Mile.

Comprehensive Plan Consideration(s):

The Future Land Use Map indicates the future use of this property as commercial.

The following Comprehensive Plan goal(s) and/or policy(ies) apply to this application:

1. **POLICY A-2-16:** Promote simple, objective design standards (not an architectural review committee) for commercial, industrial, and institutional development. *Because the appearance of the community is important, the City needs to promote design standards that will lead to attractive development. These standards might include such things as variations in roof lines or building facades, requirements for windows, or standards for the placement of buildings on their lots.*
- **POLICY E-2-1:** Encourage development of these corridors in a manner that is visually appealing. *Highway corridors greatly impact the appearance of a community. Because community appearance is important to local residents, the city should encourage these corridors to be developed in a manner that enhances community appearance. Elements to be considered include landscaping, screening or outdoor storage and display, appearance of buildings, design of parking areas, and others.*
- **POLICY E-2-3:** Establish objective design standards (not an architectural review committee), to encourage development with appropriate landscaping, parking, setbacks, visually appealing buildings, and attractive and effective signage. *Design standards could include such things as requirements for variations in building facades, roof lines, materials, colors, and limitations on outside storage.*
- **POLICY E-2-10:** Encourage businesses along these corridors to add landscaping. *Landscaping adds greatly to the appearance of the community, and it offers environmental, economic, and psychological benefits. Highway corridors are the most visible areas to visitors and local residents alike; therefore, landscaping is particularly important in these areas.*
- **Policy J-2-2:** Maintain and enhance the vitality, cleanliness, and appearance of all areas of the City. One of the traditional strengths of Columbus is its attractive appearance. *This attractiveness, particularly of the downtown, helps to attract businesses and workers to the community.*

- **Policy J-10-1:** Create a positive business climate characterized by flexibility. *The needs of businesses are continuously changing, and the City needs to have sufficient flexibility in its regulatory system to respond to these changes and to encourage and nurture new businesses.*

This property is located in the Western Gateway character area. The following Planning Principle(s) apply to this application:

1. Commercial development and agriculture should continue to be the dominant land uses in this area.
2. All commercial development should be in centers containing several businesses, planned as a unit and managed by a single entity, as opposed to lot-by-lot, uncoordinated development with curb cuts for each individual business.
3. In order to reflect the importance of this area as the city's primary entry, design standards should be adopted for layout, buildings, landscaping, signs, and lighting.
4. Pedestrian and bicycle connections should be provided among commercial areas as well as between residential and commercial areas.

Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. The applicant is requesting a 150 foot tall flag pole. For comparison, in the CR (Commercial: Regional) zoning district, this property would be allowed an interstate sign that is 90 feet tall and 200 sq.ft. in area. The flagpole is 60 feet taller than an interstate sign. The proposed building is only 29 feet tall. In the CR (Commercial: Regional) zoning district, a flagpole can be up to 32 feet tall.
2. The applicants have verbally indicated that the flagpole is intended to draw attention to their business and is perceived by them to be an alternative to an interstate sign, which is not permitted at this location.
3. The applicant is requesting a drive separation of 84.7 ft. along Johnson Boulevard. The CR (Commercial: Regional) zoning district would require a 100 ft. setback separation instead. The proposed access is a one-way out. The location of the proposed drive aligns with traffic flow on the back (north) side of the proposed building. According to the City Engineering Department, the proposed access will add to the number of conflict points on Johnson Boulevard. The City Engineering Department would like to limit the possibility of accidents or additional congestion on Johnson Boulevard.
4. The applicant has provided enough over-all points for the landscaping requirements. The landscaping, however, is not in the appropriate detailed areas as designated by the Zoning Ordinance. The lot interior and front setback areas have plenty of "landscape points", while the parking lot frontage and parking lot interior do not meet the requirements.
5. The applicant has requested a changeable copy on their monument sign. This is permitted in the PUD. The PUD references the 2003 Zoning Ordinance for all other signage not specifically listed out in the PUD. The ratio of changeable copy to non-changeable copy is the same between the 2003 and the 2008 (current) Zoning Ordinance. The applicant is measuring the changeable copy screen, while staff is scaling the size off the frame as well. The changeable copy section needs to be a little smaller to meet the Zoning Ordinance and PUD. Plan Commission does not have discretion on this ratio.

Decision Criteria:

When considering a request for final PUD approval the Plan Commission and legislative body shall pay reasonable regard to the following, (per Zoning Ordinance Section 5.1(E)):

1. The extent to which the proposal is consistent with the approved Preliminary Plan;
2. The extent to which the proposal fulfills the requirements and intent of Article 5 of the Zoning Ordinance; and
3. The Comprehensive Plan and any other applicable, adopted planning studies or reports.

Plan Commission Options:

In reviewing a request for a *final PUD* the Plan Commission may (1) approve the request, (2) deny the request, or (3) continue the review to the next Plan Commission meeting. The Plan Commission may request modifications to the proposed detailed PUD.

FINAL PUD PLAN FOR COLUMBUS CROSSING LOT "9D"



Certified By:

Scale: NO SCALE
Date: 6/25/15
Drawn By: BAR
Created By:

AWS Properties
COLUMBUS, INDIANA

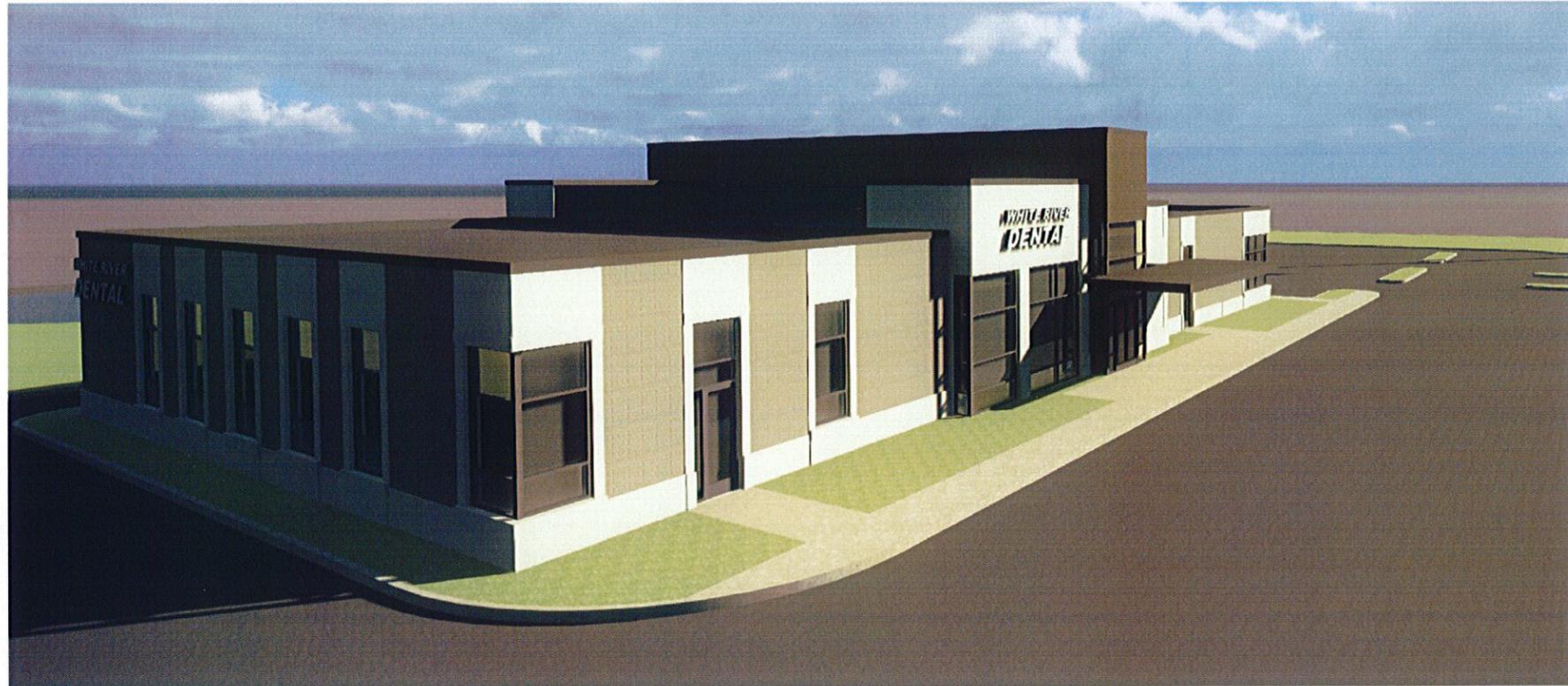
Revisions:

Job Number:

Drawing Name:
COVER SHEET

Drawing Number:

A0



AWS Properties, LLC
2459 W. Jonathan Moore Pike
Columbus, IN 47201

SHEET INDEX

SHEET	DESCRIPTION
A0	COVER SHEET
C10:	EXISTING TOPOGRAPHY
C20:	FINAL PUD SITE PLAN
C30:	GRADING PLAN
C40:	UTILITY PLAN
C50:	DETAILS
C60:	DETAILS
C70:	EROSION CONTROL PLAN
C80:	EROSION CONTROL NARRATIVE
A1.1	SCHEMATIC SITE PLAN - PHASE 1
A1.2	SCHEMATIC SITE PLAN - PHASE 2
A1.3	SCHEMATIC SITE PLAN - PHASE 3
A2.1	EXTERIOR ELEVATIONS - PHASE 1
A2.2	EXTERIOR ELEVATIONS - PHASE 2
A2.3	EXTERIOR ELEVATIONS - PHASE 3
A2.4	ROOF PLAN AND SIGNAGE
A3.0	RENDERINGS
L1.1	LANDSCAPING PLAN - PHASE 1
L1.2	LANDSCAPING PLAN - PHASE 2
L1.3	LANDSCAPING PLAN - PHASE 3
E1.0	SITE LIGHTING PLAN

FINAL PUD APPROVAL CERTIFICATE
THESE FINAL PLANNED UNIT DEVELOPMENT PLANS WERE
APPROVED BY THE CITY PLAN COMMISSION THIS _____ DAY OF _____, 2015.

PRESIDENT: _____ SECRETARY: _____

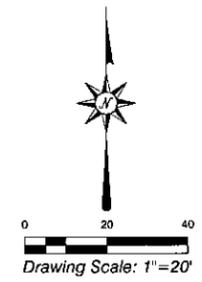
RECORDING CERTIFICATE

CONDO BOOK _____ PAGE _____ THIS _____ DAY OF _____, 2015 AT _____ O'CLOCK _____ M.
INSTRUMENT NO. _____ FEE PAID _____
A NOTATION HAS BEEN MADE ON "RECORDED IN PLAT BOOK" * PAGE * _____.

ANITA L. HOLE, BARTHOLOMEW COUNTY RECORDER



LEGEND			
●	WATER METER	— — — — —	ELECTRIC (UNDERGROUND)
⊕	WATER VALVE	— — — — —	ELECTRIC (OVERHEAD)
⊕	UTILITY POLE	— — — — —	TELECOM (UNDERGROUND)
⊕	GUY DOWN	— — — — —	GASLINE (UNDERGROUND)
⊕	WLET	— — — — —	FENCE
⊕	LIGHT POLE	— — — — —	SANITARY SEWER
⊕	TELECOM RISER	— — — — —	STORMY SEWER
⊕	CLEANOUT	— — — — —	WATER MAIN
⊕	SIGN		
⊕	LAMP POST		
⊕	WARD LIGHT		
⊕	ACCESSIBLE PARKING		

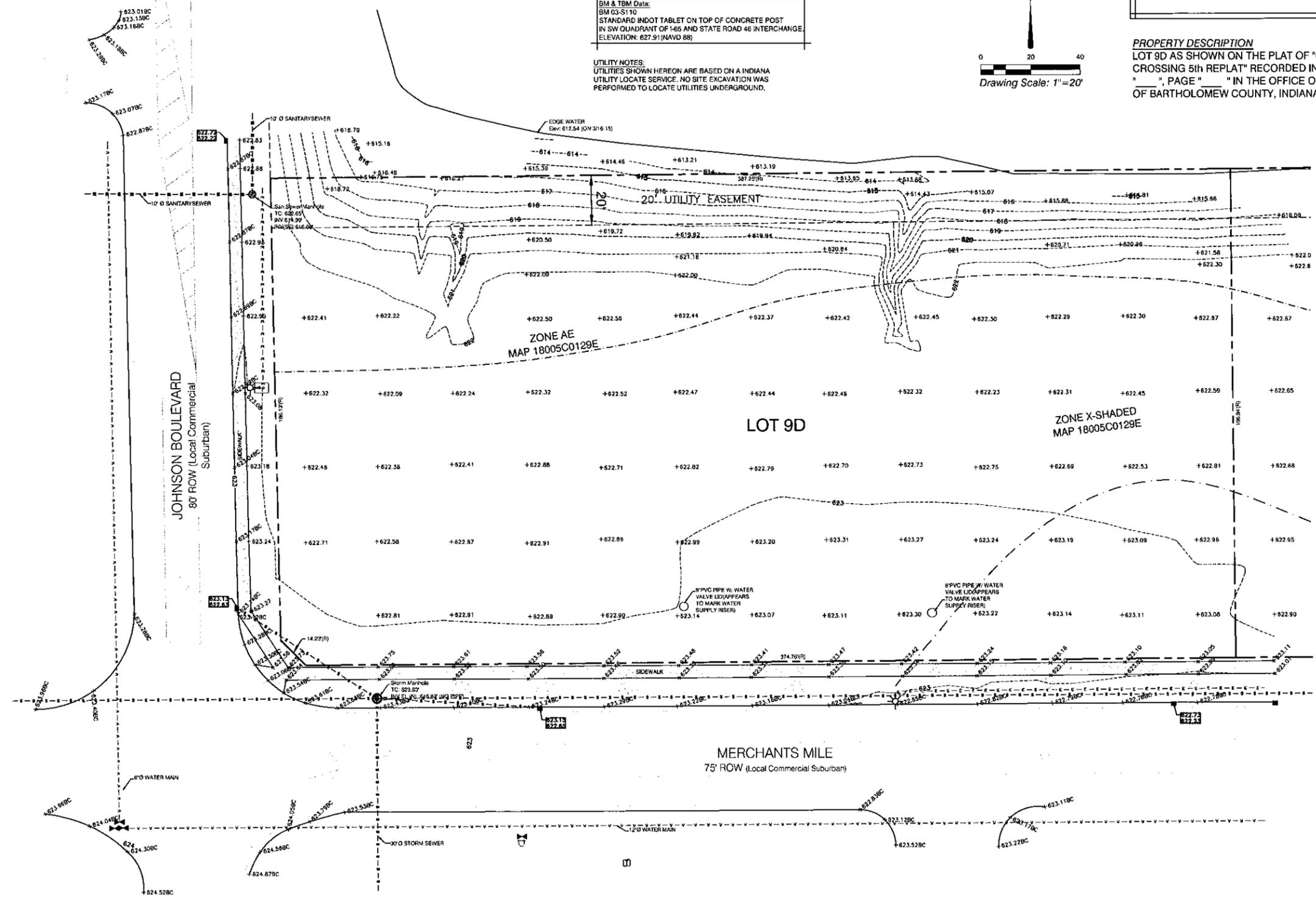


Basis of Bearing:
 Projection: State Plane 83
 Zone: Indiana East

BM & TBM Data:
 BM 03-S110
 STANDARD INDOT TABLE ON TOP OF CONCRETE POST
 IN SW QUADRANT OF I-65 AND STATE ROAD 46 INTERCHANGE
 ELEVATION: 627.91 (NAVD 88)

UTILITY NOTES:
 UTILITIES SHOWN HEREON ARE BASED ON AN INDIANA
 UTILITY LOCATE SERVICE. NO SITE EXCAVATION WAS
 PERFORMED TO LOCATE UTILITIES UNDERGROUND.

PROPERTY DESCRIPTION
 LOT 9D AS SHOWN ON THE PLAT OF "COLUMBUS
 CROSSING 5th REPLAT" RECORDED IN PLAT BOOK
 " ", PAGE " " IN THE OFFICE OF THE RECORD
 OF BARTHOLOMEW COUNTY, INDIANA.



REVISIONS	
NO.	DESCRIPTION

AWSDENTAL
 AWS Properties, LLC
 COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
 Columbus, Indiana

TOPOGRAPHY SURVEY

DRAWN BY: N. GRAY
CHECKED BY: ERG
DATE: March 2, 2015
SCALE: AS NOTED

CERTIFIED BY:

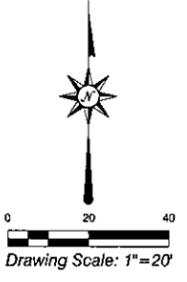


F. R. Gray & Associates, Inc.
 15101 TOS10
 COLUMBUS, INDIANA 47201
 TEL: 317-665-4619
 FAX: 317-665-4619
 www.frgay.com

"IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
 Call 811 or 1-800-382-5544

PER INDIANA STATE LAW ICR-1-28
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE LAZERS/GROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

LOG NO: 15101
FILE PATH: 15101TOS10
SHEET OF **C10**



LEGEND	
● WATER METER	—E—E— ELECTRIC (UNDERGROUND)
⊕ WATER VALVE	—T—T— ELECTRIC (OVER-EAD)
⊕ UTILITY POLE	—T—T— TELECOM (UNDERGROUND)
⊕ GUY DOWN	—G—G— GASLINE (UNDERGROUND)
⊕ INLET	—X—X— FENCE
⊕ LIGHT POLE	—S—S— SANITARY SEWER
⊕ TELECOM RISER	—S—S— STORM SEWER
⊕ CLEANOUT	—W—W— WATER MAIN
⊕ SIGN	—P—P— PROPERTY LINE (L)
⊕ LAMP POST	—R—R— RIGHT OF WAY
⊕ HARD LIGHT	
⊕ ACCESSIBLE PARKING	

PROPERTY DESCRIPTION
 LOT 9D AS SHOWN ON THE PLAT OF 'COLUMBUS CROSSING 5th REPLAT' RECORDED IN PLAT BOOK '...', PAGE '...' IN THE OFFICE OF THE RECORDER OF BARTHOLOMEW COUNTY, INDIANA.

PARKING DATA:
 3 - PHYSICAL ACCESSIBLE
 62 - SPACES
 65 TOTAL SPACES

FLOOD ZONING:
 SUBJECT SITE IS LOCATED IN ZONE 'X' SHADED, ZONE 'AE', & IN THE 100 YEAR FLOODWAY FRINGE PER THE FIRM FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 18005C0129E.

ELEVATION DATUM: NAVD 88
 BASE FLOOD ELEV(BFE) = 623.4' (NAVD88)
 FINISH FLOOR ELEV = 625.4' (NAVD88)

KEY NOTES:

- 1 BIKE RACK SHALL BE CONSISTENT WITH THE CITY OF COLUMBUS ZONING ORDINANCE AS PERIODICALLY AMENDED.
- 2 ADA ACCESSIBLE RAMPS SHALL BE CONSISTENT WITH THE CITY OF COLUMBUS ZONING ORDINANCE AS PERIODICALLY AMENDED.
- 3 ACCESSIBLE PARKING SIGNAGE

NO.	DATE	DESCRIPTION
1		

REVISIONS

AWSDENTAL
 AWS Properties, LLC
 COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
 Columbus, Indiana
Final PUD Site Plan

DRAWN BY: N. GRAY
CHECKED BY: ERG
DATE: June 25, 2015
SCALE: AS NOTED

CERTIFIED BY:

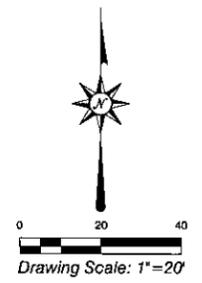


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 ergray@ergray.com
 BUS. 812-375-7000
 1-877-633-5478
 FAX 812-375-2176

JOB NO. 15101
FILE PATH: 15101FPUD13
SHEET C20

Indiana Underground Pipe Protection Service
 www.iupps.org
"IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
 Call 811 or 1-800-382-5544
 PER INDIANA STATE LAW 16B-1-25
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK

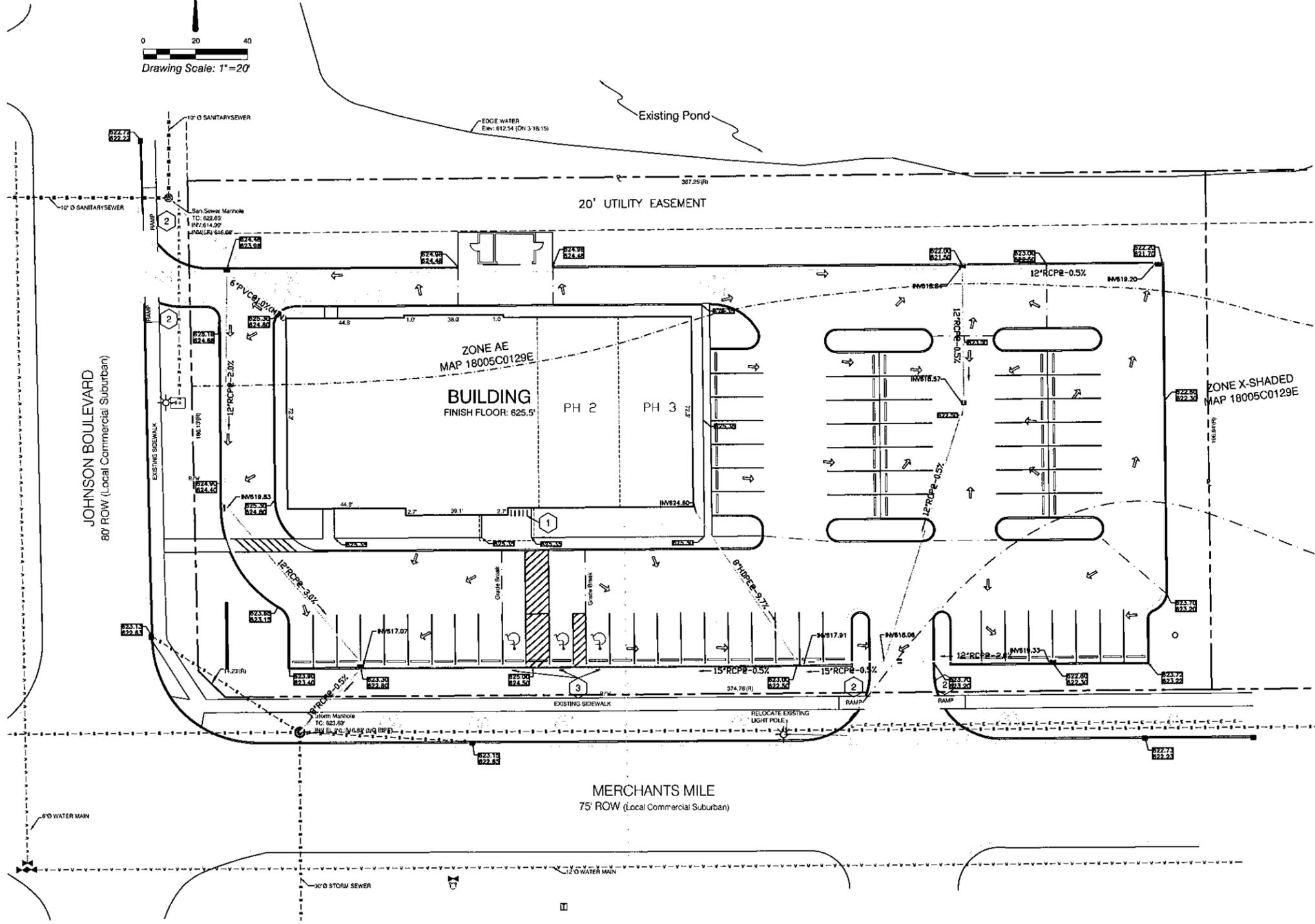
2015 06 25 12:35:05 PM



- LEGEND (FGP)**
- DRAINAGE DIRECTIONAL FLOW ARROW
 - GRADE BREAKLINE
 - SPOT ELEVATION
 - TOP OF CURB ELEV. GUTTER OR EP FINISH GRADE
 - DRAINAGE INLET STRUCTURES
- ELEVATION DATUM: NAVD 88
 BASE FLOOD ELEV(BFE) = 623.4'(NAVD88)
 FINISH FLOOR ELEV = 625.4'(NAVD88)

NOTE:
 ALL FINISH GRADE ELEVATIONS 10' OUT FROM THE BUILDING FOUNDATION MUST BE AT OR ABOVE THE BASE FLOOD ELEVATION OF 623.4'

ELEVATION DATUM: NAVD 88
 BASE FLOOD ELEV(BFE) = 623.4'(NAVD88)
 FINISH FLOOR ELEV = 625.4'(NAVD88)



REVISIONS	
NO.	DESCRIPTION
1	

AWSDENTAL
 AWS Properties, LLC
 COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
 Columbus, Indiana

Final Grading Plan

DRAWN BY: N. GRAY	CHECKED BY: ERG	DATE: June 25, 2015	SCALE: AS NOTED
CERTIFIED BY:			

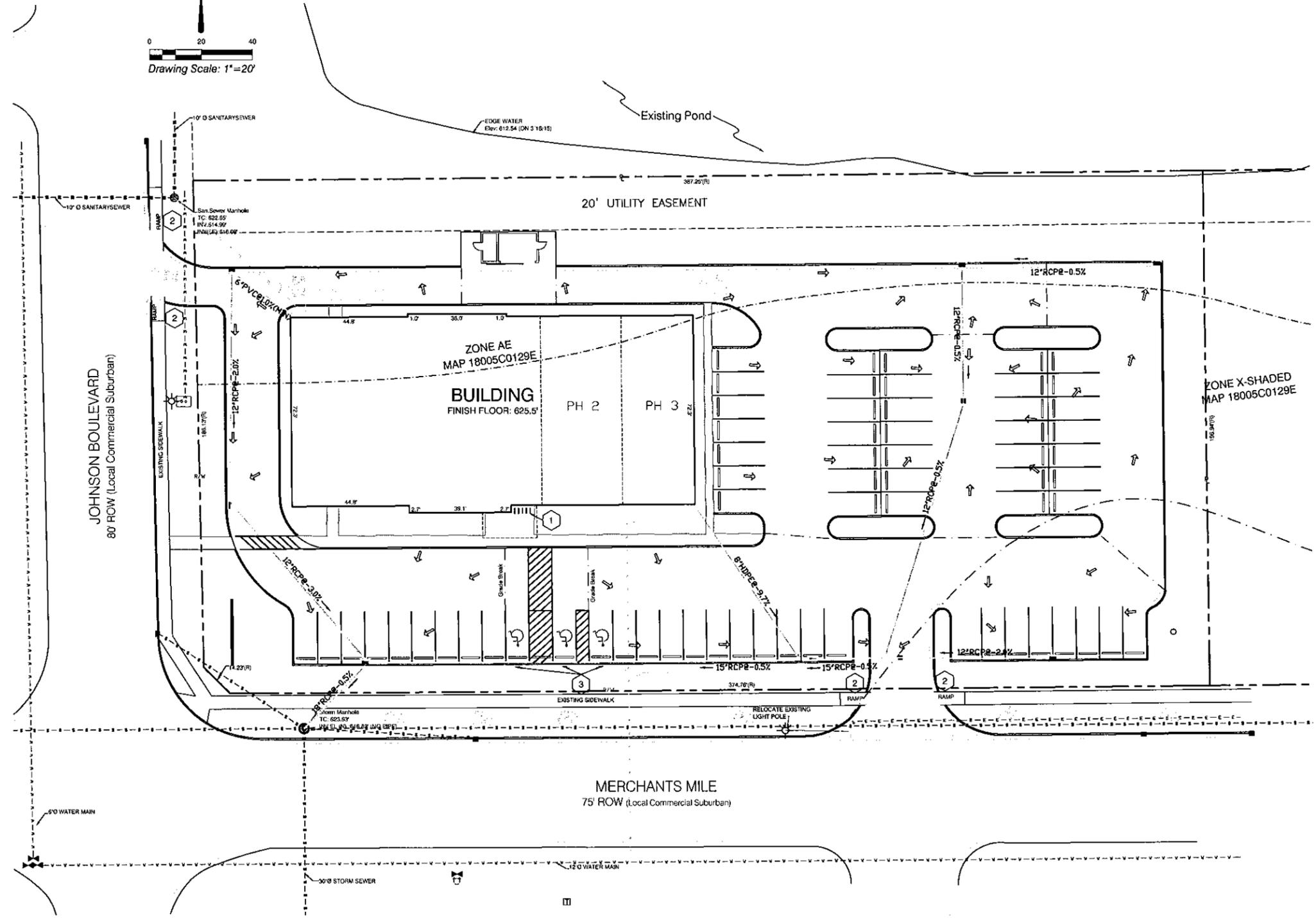
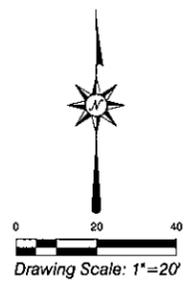
ERF
 ENGINEERING & SURVEYING, INC.
 700 W. 13TH ST. #200
 COLUMBUS, IN 47203
 TEL: 317-372-7000
 FAX: 317-372-2175

Telena Underground Risk Protection Service
 www.1022.org
"IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
 Call 811 or 1-800-382-5544
 PER INDIANA STATE LAW (CS) 1-28
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK

2015 06 25 12:35:13 PM

JOB NO. 15101	FILE PATH 15101FPUD13	SHEET C-30
DRAWN BY: N. GRAY		

LEGEND (UTP)
 WATERLINE
 SANITARY SEWER
 DRAINAGE INLET STRUCTURES



NO.	DATE	DESCRIPTION
1		

AWS DENTAL
 AWS Properties, LLC
 COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
 Columbus, Indiana
UTILITY Plan

DRAWN BY: N. GRAY
 CHECKED BY: ERG
 DATE: June 25, 2015
 SCALE: AS NOTED

CERTIFIED BY:



N. GRAY III, L.S.
 15101
 15101FPUD13
 SHEET

C40

Indiana Underground Utility Protection Service
 www.iups.org
"IT'S THE LAW"
 CALL 2 WORKING DAYS BEFORE YOU DIG
 Call 811 or 1-800-382-5544
 PER INDIANA STATE LAW (CS-1-26)
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

PAVEMENT CONSTRUCTION NOTES

- INSTALLATION OF OR PROVISIONS FOR THE INSTALLATION OF ALL UNDERGROUND UTILITIES, INCLUDING SERVICE LATERALS, TO BE PLACED UNDER THE PAVEMENTS SHALL BE ESTABLISHED PRIOR TO THE CONSTRUCTION OF THE PAVEMENTS.
- ALL PAVEMENT, CURBS, SIDEWALKS, RAMPS, ETC. SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND IN CLOSE CONFORMANCE WITH THE LINES, GRADES, THICKNESSES AND TYPICAL CROSS SECTIONS SHOWN ON THE PLANS. MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH DESIGNATED SECTIONS OF THE INDIANA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", LATEST EDITION.
- SUBBASE AND SUB GRADE FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D598.
- ALL PORTLAND CEMENT CONCRETE PAVEMENT STREETS SHALL HAVE JOINT MAINTENANCE CONDUCTED BEFORE THE CITY ACCEPTS OWNERSHIP OF STREET (I.E. CRACK SEAL OR OTHER APPROVED MEASURE) WITHIN THE MAINTENANCE PERIOD.
- WHEREVER RIGID PAVEMENT IS TO BE USED THE CONTRACTOR SHALL SUBMIT A DETAILED PAVING PLAN TO THE CITY ENGINEER. THE PAVING PLAN SHALL SHOW THE LOCATION AND TYPE OF JOINTING TO BE USED IN THE CONSTRUCTION. THE LOCATION AND TYPE OF JOINTING SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS AND GUIDELINES.
- WHENEVER SUB GRADE STABILIZATION IS TO BE USED THE CONTRACTOR SHALL SUBMIT A WRITTEN PLAN DETAILING THE APPLICATION METHOD. THE PLAN MUST COMPLY WITH THE STATE OF INDIANA ENVIRONMENTAL REGULATIONS AND STANDARDS AND BE APPROVED BY THE CITY ENGINEER'S OFFICE.
- RECYCLED CONCRETE MAY BE USED AS # 53 AGG. BASE ON A CASE BY CASE BASIS UPON PRIOR WRITTEN APPROVAL OF THE CITY.
- WHEREVER PROPRIETARY EQUIPMENT IS SPECIFIED, "OR APPROVED EQUAL" IS IMPLIED. ALL PROPOSALS FOR SUBSTITUTION SHALL BE SUBMITTED TO THE CITY IN WRITING FOR THEIR APPROVAL.

QUALITY CONTROL REQUIREMENTS

- ALL TESTING SHALL BE IN ACCORDANCE WITH THE LATEST INDOT STANDARD SPECIFICATIONS. ALL TESTS WHERE PRACTICABLE SHALL BE WITNESSED BY THE CITY. CONTRACTOR SHALL COORDINATE TESTING SCHEDULE WITH THE CITY ENGINEER'S OFFICE. ALL TEST RESULTS SHALL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE WITHIN 48 HOURS OF THE COMPLETION OF EACH TEST AND PRIOR TO PLACING ANY MATERIAL ON THE SUBBASE/SUBGRADE. THE FREQUENCY OF TESTING WHERE SHOWN IS A MINIMUM. ADDITIONAL TESTING MAY BE REQUIRED AT THE DIRECTION OF THE PUBLIC WORKS INSPECTOR.
- THE DEVELOPER/CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING FIRM (UNLESS OTHERWISE NOTED) TO PERFORM THE FOLLOWING TESTING:
 - SUBGRADE:
 - COMPACTION (FILL SECTIONS): 1 TEST PER LIFT PER 500 LF OF SINGLE LANE WIDTH.
 - ADEQUACY OF SUBGRADES SHALL BE DETERMINED SOLELY BY THE PUBLIC WORKS INSPECTOR. A PROOFROLL SHALL BE PERFORMED ON ALL STREET SUB GRADE PRIOR TO PLACING STONE AND INSTALLING CURB. SUBGRADE SHALL MEET INDOT SPECIFICATION SECTION 207, EXCEPT THAT ONLY THE TOP 6" OF SUBGRADE SHALL BE TESTED FOR 100% STANDARD COMPACTION. PROOFROLLING THAT COMPLIES WITH INDOT SPECIFICATION 203.25 IS ALSO REQUIRED, EXCEPT THAT PROOFROLLING MAY ALSO BE ACCOMPLISHED USING A FULLY LOADED TANDEM OR TRI-AXLE DUMP TRUCK IN LIEU OF THE SPECIFIED RUBBER TIRE ROLLER. ROLLER MARKS LESS THAN 1/2" ARE ACCEPTABLE, AS ARE DEFLECTIONS LESS THAN 1/2" OVER THE LENGTH OF THE ROLLER OR TRUCK. IF THE SUBGRADE DOES NOT PASS THESE SPECIFICATIONS, THEN SUBGRADE TREATMENTS, INCLUDING CHEMICAL MODIFICATION PERFORMED ACCORDING TO INDOT SPECIFICATIONS 207 AND 215 MAY BE DONE IN LIEU OF THE ABOVE DENSITY AND PROOFROLL SPECIFICATIONS.

TANDEM DUMP TRUCK - GROSS WEIGHT 48,000 #
TRI-AXLE DUMP TRUCK - GROSS WEIGHT 68,000 #
 - AGGREGATE SUBBASE:
 - GRADUATION - 1 TEST PER 1000 TONS OR 1 PER WEEK
 - COMPACTION - 1 TEST PER 500 LF OF SINGLE LANE WIDTH
 - BITUMINOUS MATERIAL (BASE, INTERMEDIATE AND SURFACE):
 - ASPHALT EXTRACTION - 1 TEST PER EACH TYPE OF MATERIAL USED PER JOB TEST TO INCLUDE GRADATION, ASPHALT CONTENT, CRUSHED PARTICLE DETERMINATION AND DELETERIOUS DETERMINATION. TEST SHALL BE CERTIFIED PER INDOT CERTIFICATION REQUIREMENTS.
 - DENSITY- THE TARGET DENSITY SHALL BE DETERMINED FROM A TEST STRIP CONSTRUCTED PER INDOT SPECIFICATIONS. THE TARGET DENSITY SHALL NOT BE LESS THAN 96% OF THE UNIT WEIGHT AT THE OPTIMUM BINDER CONTENT DENS AS DETERMINED BY THE MIX DESIGN. THE DENSITY OF EACH SUBLIT WILL BE THE AVERAGE OF FIVE TESTS. A SUBLIT SHALL BE 1000 LF OF SINGLE LANE WIDTH. BREAKDOWN ROLLER SHALL BE MINIMUM 10 TON OR APPROVED VIBRATORY.
 - CONCRETE FOR CURBING AND DRIVEWAYS:
 - AIR AND SLUMP - 1 TEST PER DAY FOR POURS OVER 20 CY OR MINIMUM 1 PER WEEK.
 - COMPRESSIVE STRENGTH TESTS - AN ADEQUATE NUMBER OF CONCRETE TEST CYLINDERS SHOULD BE TAKEN TO ENSURE THAT PSI REQUIREMENTS OF THE CONCRETE SECTION ARE MET. A MINIMUM OF ONE SET OF TEST CYLINDERS PER WEEK SHALL PASS THESE REQUIREMENTS.
 - CONCRETE STRENGTH SHALL BE A MINIMUM 4000 PSI BEFORE OPEN TO TRAFFIC.
 - CONCRETE FOR PAVEMENT - FREQUENCY OF TESTS SHALL BE IN ACCORDANCE WITH THE INDOT FREQUENCY TESTING MANUAL AS SET OUT IN THE SECTION TITLED "CONCRETE PAVEMENT AND STRUCTURE MATERIAL".

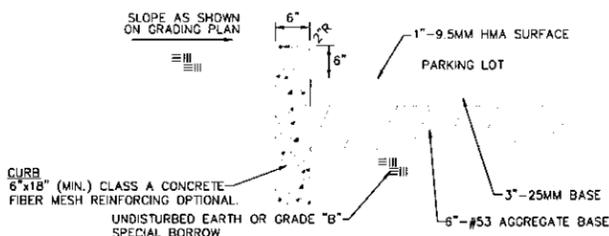
NOTES:

- ALL WORK TO COMPLY OR EXCEED 'TYPICAL CONSTRUCTION GUIDELINES AND DETAILS' PER THE CITY OF COLUMBUS, INDIANA ADOPTED BY RESOLUTION NO. 7, 2014. (EFFECTIVE FOR ALL WORK ON OR AFTER JANUARY 1, 2015)
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION OR EXCAVATION. DURING CONSTRUCTION ALL UTILITIES SHALL BE ADEQUATELY SUPPORTED TO MINIMIZE DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING DAMAGED UTILITIES TO THE SATISFACTION OF THE CITY OF COLUMBUS, INDIANA AND THE OWNER OF THE AFFECTED UTILITY.

Directory of Utility and City Depts. for Columbus, Indiana

CITY ENGINEER 123 Washington Street Columbus, IN 47201 (812)376-2540	SEWER & WATER Columbus City Utilities 1111 McClure Road Columbus, IN 47201 (812) 372-8861	ELECTRIC Duke Energy 2728 Central Avenue Columbus, IN 47201 (812) 375-2004
GAS Vecon Energy 4324 Middle Road Columbus, IN 47203 (812) 346-6710	TELEPHONE AT & T 420 East 7th Street Columbus, IN 47201 (812)376-2887	CABLE Comcast 1470 Jackson Street Columbus, IN 47201 (812)373-2165

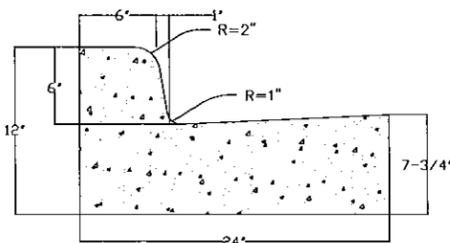
CITY/COUNTY PLANNING DEPARTMENT
123 Washington Street
Columbus, IN 47201
(812)376-2550



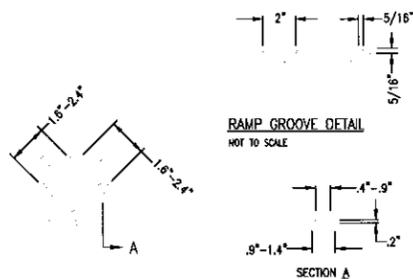
TYPICAL PARKING LOT AND CURB SECTION - ASPHALT
NOT TO SCALE



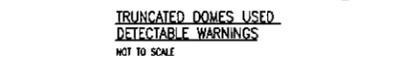
CURB TRANSITION DETAIL
NOT TO SCALE



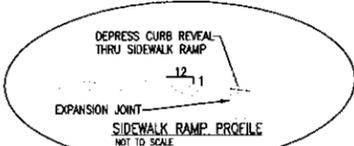
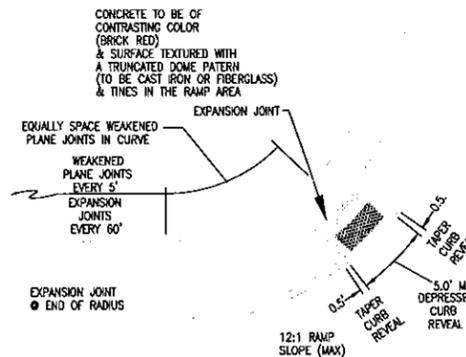
2' CONCRETE CURB AND GUTTER
NOT TO SCALE



RAMP GROOVE DETAIL
NOT TO SCALE



TRUNCATED DOMES USED FOR DETECTABLE WARNINGS
NOT TO SCALE



SIDEWALK RAMP PROFILE
NOT TO SCALE

SANITARY SEWER NOTES:

- ALL SANITARY SEWER PIPE IS TO BE SDR 35 PVC PRESSURE SEWER PIPE WITH COMPRESSION FITTINGS PER ASTM D-3034, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- SEWERS SHALL BE LAID AT LEAST (10) FEET, HORIZONTALLY, FROM ANY WATER MAIN.

CROSSINGS OF BURIED SEWERS AND WATER LINES SHALL BE AVOIDED AS MUCH AS POSSIBLE, HOWEVER WHERE CROSSINGS ARE NECESSARY, A MINIMUM OF 18 INCHES VERTICAL CLEARANCE SHALL BE MAINTAINED (MEASURED FROM THE BOTTOM OF THE UPPER PIPE TO THE TOP OF THE LOWER PIPE), PREFERABLY WITH THE WATER MAIN ABOVE THE SEWER.

WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION, THE SEWER SHALL BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR SDR 26 PVC PRESSURE SEWER PIPE IN ACCORDANCE WITH ASTM D-3034 WITH COMPRESSION FITTINGS, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- ALL STUBS AND INDIVIDUAL SERVICE LINES SHALL BE 6" PIPE AS NOTED
- CONTRACTOR IS TO PROVIDE A MEANS OF ACCESS TO ALL RESIDENCES AND BUSINESSES DURING CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE ADEQUATE EROSION CONTROL DURING CONSTRUCTION. ANY DISTURBED AREAS ARE TO BE RESEDED WITH IN 7 DAYS OF FINISHED GRADING.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS OF SECTION 15, 1980 OSHA EXCAVATION STANDARDS, 29 CFR 1926 SUBPART P.
- USE HEAVY DUTY NEENAH #R-1642, MANHOLE FRAME w/ PICK HOLES FOR REMOVAL (OR EQUAL)
- WHERE MANHOLES OCCUR IN FLOOD PLAN OR DITCH, USE WATERTIGHT CASTING AND LIDS. LOCATION AS SHOWN ON PLANS.
- WATERTIGHT MANHOLE CASTINGS SHALL BE FURNISHED WITH A ROUND RUBBER GASKET, CONCEALED WATERTIGHT PICK HOLES, AND BRONZE CAPSCREW.
- FOR MANHOLE IN PRESENT STREETS, COVERS SHALL MATCH EXISTING GRADE.
- ALL SLOPES TO BE FINISHED WITHIN 1" TO TOP OF CASTING.
- ALL JOINTS TO BE WATERTIGHT "O" RING TYPE PER A.S.T.M. SPECIFICATION C-443, LATEST EDITION.
- ALL PRECAST CONES AND BARRELS TO BE REINFORCED PER A.S.T.M. SPECIFICATION C-487, LATEST EDITION.
- MANHOLE STEPS TO BE STANDARD PLASTIC WITH STEEL REINFORCING.
- DROP MANHOLES SHALL BE PROVIDED FOR ANY SEWER ENTERING A MANHOLE AT AN ELEVATION OF 24" OR MORE ABOVE MANHOLE INVERT; DROP PIPES TO BE OF THE SAME MATERIAL AS THE SEWER MAIN.
- ALL WYES AND HOUSE SERVICE RUNS SHALL BE PLUGGED WITH PLUGS HAVING RESILIENT JOINT MATERIAL MATCHING THAT OF THE PIPE JOINTS.
- ROOF DRAINS, FOUNDATION DRAINS, OR ANY OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- INSPECTION: PERIODIC OBSERVATION OF WORK IN PROGRESS MAY BE PROVIDED BY COLUMBUS UTILITIES OR THEIR DESIGNER. THE SANITARY SEWER UTILITY SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO HIS STARTING WORK AND PRIOR TO RESTARTING WORK AFTER DELAYS OR SHUT-DOWNS
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HEREON PLANS AND IN ACCORDANCE WITH ANY APPLICABLE FEDERAL, STATE, LOCAL CODES OR LAWS, AND COLUMBUS UTILITIES HANDBOOKS.

SUBSTITUTIONS:

CERTAIN ITEMS IN THESE PLANS ARE IDENTIFIED BY SPECIFIC MODEL OR ITEM NUMBERS AS SUPPLIED BY NAMED MANUFACTURERS. THE ITEMS ARE SO SPECIFIED BECAUSE THEY EXHIBIT A PERFORMANCE STANDARD REQUIRED BY THE SPECIFIC SITE CONDITIONS. THESE ITEMS MAY ONLY BE SUBSTITUTED IF THE CONTRACTOR MAKES WRITTEN REQUEST OF THE DESIGNER, STATING THE MANUFACTURER AND MODEL OR ITEM NUMBER OF THE REQUESTED REPLACEMENT OF THE SPECIFIED ITEM. SUBSTITUTION MAY OCCUR AFTER THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM BOTH THE DESIGNER AND ALL APPROVING AGENCIES.

DEFLECTION AND LEAKAGE TESTING

A DEFLECTION AND LEAKAGE TEST SHALL ON ALL SEWER PIPE INSTALLED DURING THE CONSTRUCTION OF THIS PROJECT IN ACCORDANCE WITH 327 IAC 3-6-19. A DEFLECTION TEST SHALL BE PERFORMED ON ALL FLEXIBLE PIPE FOLLOWING THE ELAPSE OF 30 DAYS AFTER THE PLACEMENT OF FINAL BACKFILL. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OR GREATER. THE DIAMETER OF RIGID BALL OR MANDREL USED FOR A DEFLECTION TEST SHALL BE NO LESS THAN 95% OF THE BASE INSIDE DIAMETER OF THE PIPE TO BE TESTED DEPENDENT ON WHAT IS SPECIFIED IN THE CORRESPONDING ASTM STANDARD. THE TEST SHALL NOT BE PERFORMED WITH THE AID OF A MECHANICAL PULLING DEVICE. ALL GRAVITY SEWER SHALL BE TESTED USING THE FOLLOWING LEAKAGE TESTS:

A HYDROSTATIC TEST SHALL BE PERFORMED WITH A MINIMUM OF 2 FEET OF POSITIVE HEAD. THE RATE OF EXFILTRATION OR INFILTRATION SHALL NOT EXCEED TWO HUNDRED GALLONS PER INCH OF PIPE DIAMETER PER LINEAR MILE PER DAY.

AIR TEST SHALL CONFORM TO ASTM F 1417-92

VACUUM TESTING

ALL SANITARY MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C 1244-93 ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED. THE TEST HEAD SHALL BE PLACED AND THE SEAL INFLATED PER MANUFACTURER'S RECOMMENDATIONS. A VACUUM PUMP OF TEN INCHES OR MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF WITH THE VALVES CLOSED. THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP NINE INCHES. FOLLOWING ARE MINIMUM ALLOWABLE TEST TIMES FOR MANHOLE ACCEPTANCE AT THE SPECIFIED VACUUM DROP. (NUMBERS ARE PER ASTM C 1244-93 FOR 48" DIA. MANHOLE)

DEPTH (FEET)	TIME (SECONDS)
4	10
8	20
12	30
16	40
20	50
24	59

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEY LOCATION REPORT.

NO.	DATE	DESCRIPTION
1	11/27/14	Per P.D. comments

REVISIONS

AWSDENTAL
AWS Properties, LLC
COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
Columbus, Indiana

DETAILS

CREATED BY: NGRAY
CHECKED BY:
DATE: June 25, 2015
SCALE: AS NOTED

CERTIFIED BY:

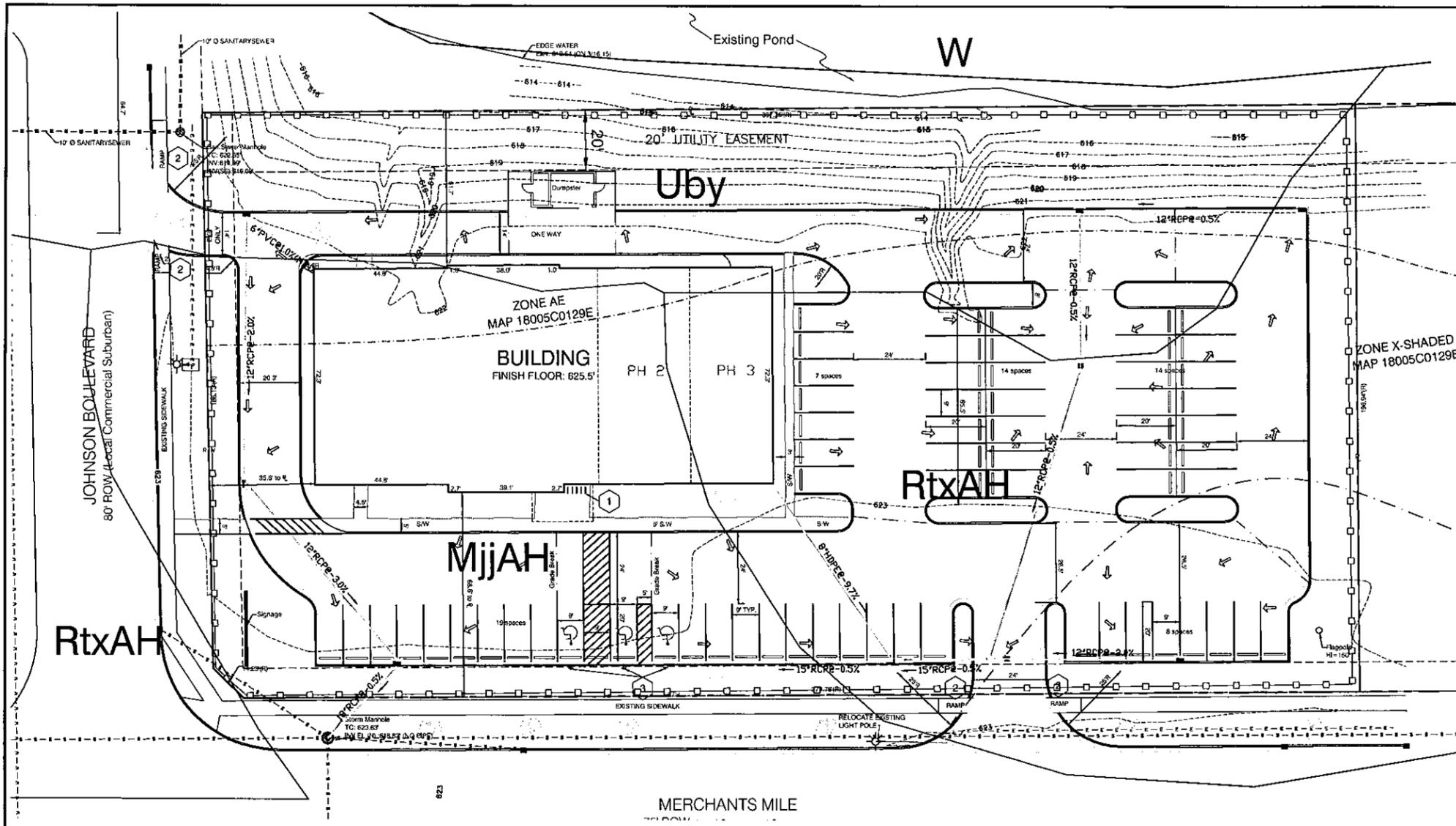
EF6

K.E. GRAY III, L.L.
COLUMBUS UTILITIES
1111 McClure Road
Columbus, IN 47201
812-376-2540
kgray@cityofcolumbus.com

JOB NO: 15101

FILE PATH: 15101FPUD13

SHEET OF: C60



EROSION CONTROL LEGEND	
[Symbol]	INLET PROTECTION
[Symbol]	SILT FENCE

NOTES:

- EROSION CONTROL MAT APPLICATIONS ARE NORTH AMERICAN GREEN S-40 (OR APPROVED EQUAL) INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- DISTURBED AREAS ARE NOT TO BE LEFT BARREN FOR MORE THAN 15 DAYS. AREAS THAT HAVE BEEN DISTURBED ARE TO BE EITHER PERMANENTLY SEEDDED OR TEMPORARILY SEEDDED WITHIN 15 DAYS OF LAST CONSTRUCTION ACTIVITY. SEE SEEDING SPECIFICATIONS BELOW.
- AREAS HAVE BEEN IDENTIFIED ON THESE PLANS WHERE CONSTRUCTION EQUIPMENT IS TO BE PARKED WHEN NOT IN USE AS WELL AS AREAS WHERE THE REFUELING OF CONSTRUCTION EQUIPMENT IS TO OCCUR. NO CONSTRUCTION EQUIPMENT IS TO BE PARKED OR FUELED IN ANY OTHER AREA UNLESS APPROVED (IN WRITING) BY THE DESIGN PROFESSIONAL OR HIS DESIGNEE.
- THE CONTRACTOR MUST PROVIDE AN AREA FOR CONCRETE WASH-OUT. ALL SUBSEQUENT WASH-OUT IS TO OCCUR ONLY IN THIS AREA.

INSPECTION REQUIREMENTS:
ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST BE INSPECTED FOLLOWING EACH MEASURABLE RAINFALL OF 0.5 INCHES OR MORE AND AT A MINIMUM OF ONCE EACH WEEK.

ANY MEASURE FOUND NOT TO BE PERFORMING AS INTENDED OR DAMAGED MUST IMMEDIATELY BE REPAIRED OR REPLACED.

ALL OTHER AREAS NOT PREVIOUSLY IDENTIFIED AS NEEDING EROSION OR SEDIMENT CONTROL BUT FOUND IN NEED OF SUCH MEASURES DURING INSPECTIONS MUST BE IMMEDIATELY PROTECTED WITH THE APPROPRIATE EROSION OR SEDIMENT CONTROL PRACTICE.

A WRITTEN RECORD OF EACH INSPECTION MUST BE MAINTAINED ON THE JOB SITE. THIS RECORD IS TO INCLUDE THE DATE OF INSPECTION, CONDITION OF THE INSTALLED MEASURES, ACTIONS RECOMMENDED, ACTIONS TAKEN AND THE NAME OF THE INSPECTOR.

SEEDING:

- TEMPORARY STABILIZATION:
DECEMBER thru MARCH - ANCHORED MULCH
APRIL thru JUNE - OATS @ 150#/acre
JULY thru AUGUST - ANCHORED MULCH
SEPTEMBER thru NOVEMBER - WINTER WHEAT @ 150#/acre

ALL TEMPORARY SEEDING IS TO BE MULCHED AND ALL MULCH IS TO BE ANCHORED. FERTILIZER, LIME, AND MULCH APPLICATION RATES FOR TEMPORARY STABILIZATION SHALL BE AS NOTED IN PERMANENT SEEDING, SECTION 2.

- PERMANENT SEEDING:
FERTILIZER AND AGRICULTURAL LIME SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE SEEDDED. THEY SHALL BE MIXED INTO THE TOP 2" OF SOIL WITH A DISK HARROW, ROTARY TILLER OR OTHER APPROVED EQUIPMENT. FERTILIZER SHALL BE APPLIED AT THE RATE OF 800#/acre AND AGRICULTURAL LIME SHALL BE APPLIED AT THE RATE OF 1000#/acre.

SEED MIX - TO BE APPLIED AT THE RATE OF 1500#/acre
95 lbs of a 4 WAY BLEND OF TALL FESCUE (TRIBUTE, REBEL II, TRAILBLAZER)
20 lbs of JASPERED FESCUE
35 lbs of FINE BLEEDED PERENNIAL RYEGRASS (REGAL, RESTA, BLAZER)

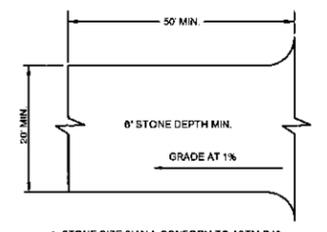
STRAW OR MULCH SHALL BE APPLIED UNIFORMLY IN A CONTINUOUS BLANKET AT A RATE OF 2 TONS PER ACRE. MULCH SHALL BE APPLIED WITHIN 24 HRS OF SEED APPLICATION. MULCH MATERIAL SHALL BE PUNCHED INTO THE SOIL SO THAT IT IS PARTIALLY COVERED. THE PUNCHING OPERATION SHALL BE PERFORMED LONGITUDINALLY WITH A MULCHING TILLER.

- HYDRO-SEEDING (OPTIONAL):
HYDRO-SEEDING SHALL BE AS PER INDOT STANDARD SPECIFICATIONS, SECTION 82 (CURRENT EDITION). FERTILIZER SHALL BE 12-12-12 APPLIED AT THE RATE OF 400#/acre AND SEED MIXTURE SHALL BE 60#/acre OF PERENNIAL RYEGRASS AND 60#/acre OF KENTUCKY 31 FESCUE OR ALTA FESCUE.

POLLUTANTS:
THE CONSTRUCTION OF THIS PROJECT WILL EXPOSE THE SITE TO POSSIBLE POLLUTANTS SUCH AS GASOLINE SPILLS, DIESEL FUEL SPILLS, MOTOR OIL LEAKAGE, EXCESS LUBRICANTS, ETC. ADDITIONALLY, MATERIALS USED IN CONSTRUCTION I.E. CURING COMPOUNDS, ADHESIVES, SOLVENTS, BONDING AGENTS, ETC. MAY ALSO PRESENT A POLLUTION SOURCE DEPENDING ON THE PRODUCTS ENVIRONMENTAL FRIENDLINESS. THIS PLAN IDENTIFIES AREAS WHERE EQUIPMENT IS TO BE PARKED & FUELING OPERATIONS ARE TO OCCUR. THEREBY SIGNIFICANTLY REDUCING THE AREA OF POSSIBLE POLLUTANT INTRODUCTION. THESE AREAS ARE PURPOSEFULLY PLACED WHERE THE SOILS PRESENT EXHIBIT THE LEAST INFILTRATIVE QUALITIES. SHOULD A SPILL OCCUR, THE CONTRACTOR IS ADVISED TO CALL THE EMERGENCY SPILL RESPONSE NUMBER LISTED BELOW FOR THE PROPER HANDLING OF THE SPILL.

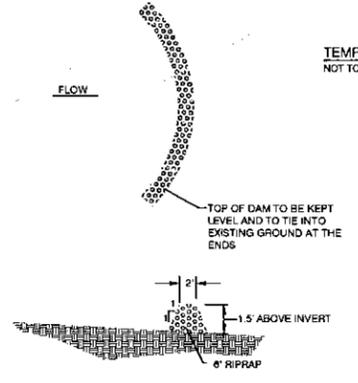
IT IS BEYOND THE DESIGNER'S CAPACITY TO ANTICIPATE THE EXACT PRODUCTS THAT THE CONTRACTOR CHOOSES TO CONSTRUCT THIS PROJECT. IT IS, THEREFORE, RECOMMENDED THAT THE CONTRACTOR FOLLOW OSHA GUIDELINES REGARDING THE PREPARATION OF A SAFETY MANUAL, CONTAINING, AMONG OTHER ITEMS, THE APPROPRIATE MATERIAL SAFETY DATA SHEETS SPECIFIC TO THIS PROJECT AND MAKING SURE EMPLOYEES ARE FAMILIAR WITH THE SAFE HANDLING AND DISPOSITION OF THOSE PRODUCTS.

Bartholomew County, Indiana (R005)	
Map Unit symbol	Map Unit Name
MjjaH	Medway silty clay loam, 0 to 2 percent slopes, frequently flooded, brief duration
RtxAH	Rossburg silt loam, 0 to 2 percent slopes, frequently flooded, brief duration
Uby	Udorthents, loamy
W	Water

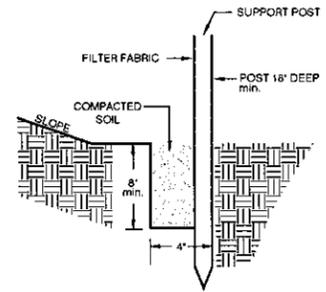


1. STONE SIZE SHALL CONFORM TO ASTM D48 SIZE #12" TO 3" DIA.)
2. PERIODIC STONE TOP DRESSING & WASHING AS REQUIRED.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



ROCK DAM in SWALE DETAIL
NOT TO SCALE



SILT FENCE INSTALLATION DETAIL
NOT TO SCALE

EROSION CONTROL CONSTRUCTION SEQUENCE SCHEDULING		
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)	CONSTRUCTION SCHEDULE CONSIDERATIONS	CONSTRUCTION START DATE (APPROX. DATE)
PRE-CONSTRUCTION ACTIONS (EVALUATION/PROTECTION OF IMPORTANT SITE CHARACTERISTICS)	BEFORE CONSTRUCTION, EVALUATE, MARK, AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, UNIQUE AREAS TO BE PRESERVED, AND VEGETATION SUITABLE FOR FILTER STRIPS, ESPECIALLY IN PERIMETER AREAS	WEEK OF AUGUST 3, 2015
CONSTRUCTION ACCESS * (CONSTRUCTION ENTRANCES, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS)	STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS WORK TAKES PLACE	WEEK OF AUGUST 3, 2015
SEDIMENT BARRIERS AND TRAPS * (BASIN TRAPS, SILT FENCES, OUTLET PROTECTION)	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ASSESSED. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING	WEEK OF AUGUST 3, 2015
RUNOFF CONVEYANCE SYSTEMS * (STABILIZED STREAM AND DITCH BANKS, STORM DRAINS, INLET AND OUTLET PROTECTION, CHANNELS)	INSTALL PRINCIPAL OUTLET CONVEYANCE SYSTEM WITH RUNOFF CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER EXCAVATION AND GRADING	NOT APPLICABLE
EXCAVATION AND MASS GRADING * (STABILIZED STREAMBANKS, STORM DRAINS, INLET AND OUTLET PROTECTION, CHANNELS)	FILL SITE INWARD FROM THE PERIMETER. FINAL GRADE PERIMETER SLOPES AND INSTALL PERMANENT SEEDING TO PERIMETER SLOPES. INSTALL GRASS STABILIZED SWALES. STABILIZE TEMPORARY AND PERMANENT SOIL STOCKPILES.	NOT APPLICABLE
SANITARY SEWER, STORM SEWER AND WATER * (TRENCHING, GRADING DRAINS AND DIVERSIONS)	INSTALL PROTECTIVE MEASURES AS NEEDED. INSTALL INLET PROTECTION AT AREA STORM SEWER INLETS. INSTALL ADDITIONAL CONTROL MEASURES AS WORK PROGRESSES.	NOT APPLICABLE
SURFACE STABILIZATION * (TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIP-RAP)	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED FOR 15 DAYS OR COMPLETED.	(CONTINUOUS THROUGHOUT THE PROJECT)
FINAL GRADING * (ROAD BEDS, CURBING, SIDEWALKS, STREET PAVING)	INSTALL NECESSARY EROSION AND SEDIMENT CONTROL PRACTICES AS WORK TAKES PLACE.	NOT APPLICABLE
LANDSCAPING AND FINAL STABILIZATION * (TOPSOIL, TREES, AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING, RIP-RAP)	STABILIZE ALL OPEN AREAS INCLUDING BORROW AND SPOIL AREAS. REMOVE TEMPORARY CONTROL MEASURES AND STABILIZE.	WEEK OF MARCH 7, 2016

*MAINTENANCE - (1) INSPECT PRACTICES AT LEAST ONCE A WEEK, & (2) MAKE REPAIRS IMMEDIATELY AFTER PERIODS OF MEASURABLE RAINFALL.

EROSION CONTROL REQUIREMENTS FOR COMPLIANCE WITH IDEM GENERAL PERMIT RULES FOR STORM WATER RUNOFF FROM CONSTRUCTION SITES.

- ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE IDNR INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS, DATED OCTOBER 1992 AND THE SCS FIELD OFFICE TECHNICAL GUIDE.
- THE EROSION CONTROL MEASURES INCLUDED IN THIS PLAN SHALL BE INSTALLED PRIOR TO INITIAL LAND DISTURBANCE ACTIVITIES OR AS SOON AS APPLICABLE. SEDIMENT SHALL BE PREVENTED FROM DISCHARGING FROM THE PROJECT SITE BY INSTALLING AND MAINTAINING SILT FENCE, STRAW BALES, SEDIMENT BASINS, ETC. AS SHOWN ON THIS PLAN. IF SHOWN ON THIS PLAN, ENERGY-DISSIPATION DEVICES OR EROSION CONTROL AT THE OUTFALL OF THE STORM SEWER SYSTEM SHALL BE INSTALLED AT THE TIME OF THE CONSTRUCTION OF THE OUTFALL. THE PROPOSED DETENTION BASIN SHALL BE UTILIZED AS A SEDIMENT BASIN DURING CONSTRUCTION FOR AS LONG AS PRACTICAL.
- ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH STRAW BALES, FILTER FABRIC, OR EQUIVALENT BARRIERS AS SHOWN ON THIS PLAN.
- EXCEPT AS PREVENTED BY INCLEMENT WEATHER CONDITIONS OR OTHER CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR, DEVELOPER APPROPRIATE EROSION CONTROL PRACTICES WILL BE INITIATED WITHIN (7) SEVEN DAYS OF THE LAST LAND DISTURBING ACTIVITY AT THE SITE. THE SITE SHALL BE STABILIZED BY SEEDING, SODDING, MULCHING, COVERING, OR BY OTHER EQUIVALENT EROSION CONTROL MEASURES.
- THIS EROSION CONTROL PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE. ALL MEASURES INVOLVING EROSION CONTROL PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN EROSION CONTROL AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.
- DURING THE PERIOD OF CONSTRUCTION ACTIVITY, ALL SEDIMENT BASINS AND OTHER EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE TRANSFER OF REQUIRED MAINTENANCE RESPONSIBILITIES WITH THE OWNER.
- PUBLIC OR PRIVATE ROADWAYS SHALL BE KEPT CLEAR OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF ORIGIN OR OTHER SUITABLE LOCATION.
- THE CONTRACTOR SHALL CONTROL WASTES, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIALS APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL IS REQUIRED.

CERTAIN ITEMS IN THESE PLANS ARE IDENTIFIED BY SPECIFIC MODEL OR ITEM NUMBERS AS SUPPLIED BY NAMED MANUFACTURERS. THE ITEMS ARE SO SPECIFIED BECAUSE THEY EXHIBIT A PERFORMANCE STANDARD REQUIRED BY THE SPECIFIC SITE CONDITIONS. THESE ITEMS MAY ONLY BE SUBSTITUTED IF THE CONTRACTOR MAKES WRITTEN REQUEST OF THE DESIGNER, STATING THE MANUFACTURER AND MODEL OR ITEM NUMBER OF THE REQUESTED REPLACEMENT OF THE SPECIFIED ITEM. SUBSTITUTION MAY OCCUR AFTER THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM BOTH THE DESIGNER AND ALL APPROVING AGENCIES.

EMERGENCY SPILL RESPONSE CALL 911

REVISIONS

NO.	DATE	DESCRIPTION

AWs Properties
AWs Properties, LLC
COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
Columbus, Indiana

EROSION CONTROL PLAN

ERD

15101
FILE PATH: 15101FPUD13
SHEET OF 70

C70

DATE: June 25, 2015
SCALE: AS NOTED

Part A (Basic Elements)

A1 - Plan Index: Plan Index items relating to the SWPPP are included on the erosion control plan.
A2 - 11x17 inch plat: An 11x17 plat is included with this submittal.
A3 - Project Narrative: This project involves the construction of a new 11,300 SF office building, sub-surface drainage system, associated parking and utilities to serve the building.
A4 - Vicinity Map: The vicinity map is located on the cover sheet.
A5 - Legal Description: Lot _____ in _____, Plat Book _____, page _____. Latitude 39.115357 North, Longitude 85.57242 West.
A6 - Location of all site improvements: See SOP
A7 - Hydrologic Unit Code: Hydrologic unit codes: 051202040904.
A8 - Notation of any State or Federal water quality permits: There are no state and federal water quality permits required for this site.
A9 - Specific point where Storm water discharge will leave the site: The stormwater will be captured on site by proposed catch basins and curb inlets that will route the drainage to existing storm water pipes that discharge into an existing retention/ detention pond.
A10 - Location and name of all wetlands, lakes, and water courses on and adjacent to the site: There are no known wetlands within the construction limits.
A11 - Identify all receiving waters: The ultimate receiving water for the site is driftwood river. Initially, stormwater leaves the site through an existing storm sewer system to a detention basin to the south where it discharges to driftwood river to the east.
A12 - Identification of potential discharges to groundwater: There is no evidence of any existing structures on this property or immediately downstream that may potentially discharge in the groundwater.
A13 - 100 year floodplain, floodways, and floodway fringes: See Site plan for flood mapping.
A14 - Pre-construction and post construction estimate of peak discharge: Pre-construction peak discharge x.x cfs Post-construction peak discharge x.x cfs
A15 - Adjacent land use, including upstream watershed: North: Commercial South: Commercial East: Commercial West: Commercial
A16 - Locations and approximate boundaries of all disturbed areas: Construction limits are shown on the erosion control plan.
A17 - Identification of existing vegetative cover: The site is currently vacant and has grass cover.
A18 - Soils map including descriptions and limitations: Soils Information: (see C70 for map) Rtch Rossburg silt loam; limitations: 0 to 2 percent, frequently flooded, brief duration, no limitations. Uby udorthents, loamy Mijah Medway silty clay loam, 0 to 2 percent slopes, frequently flooded, brief duration.
A19 - Locations, size and dimensions of proposed Storm water systems: All proposed storm water systems are shown on the utility plan. Detailed information (I.E. invert elevations) can be found there as well.
A20 - Plan of any off-site construction activities associated with this project: No off site construction activities are planned for this project.
A21 - Locations of proposed soil stockpiles, borrow and/ or disposal areas: A temporary stockpile is not needed for this project.
A-22 Existing site topography at an interval appropriate to show detailed drainage patterns: Existing topography is shown on the TOS 10.
A-23 Proposed final topography at an interval appropriate to show detailed drainage patterns: Proposed contours are provided on the grading plan to indicate drainage patterns.

Part B (Construction Component Assessment)

B1 - Description of potential pollutant sources associated with the construction activities: Potential pollutant sources during construction activities included concrete waste water, trash, fossil fuels, oil, grease, paint and sediment. Exposure of these pollutants to stormwater runoff should be minimized by performing activities such as equipment storage, refueling, maintenance and port-a-let placement in designed areas as shown on this sheet.
B2 - Sequence describing storm water quality measure implementation relative to land disturbing activities: A construction sequence can be found on this sheet.
B3 - Stable construction entrance locations and specifications: A construction entrance location is shown on the erosion control plans and a detail has been provided.
B4 - Sediment control measures for sheet flow areas: The prevention of sheet flow runoff will be achieved by the installation of silt fence. A detail is provided.
B5 - Sediment control measures for concentrated flow area: There are no areas of major concentrated flow expected for this project.
B6 - Storm water inlet protection measure locations and specifications: The locations for storm sewer inlet protection is shown on the plan view of the erosion control plan and the details are included in this plan set.
B7 - Runoff control measures: There are no areas of major stormwater runoff. Silt fence will be installed around the perimeter of the site to contain runoff.
B8 - Storm water outlet protection specifications: The existing stormwater outlets are protected with dandy bags.
B9 - Grade stabilization structure location and specifications: The installation of erosion control blanket on this project shall be used to stabilize the disturbed steep slopes.
B10 - Location, dimension, specifications and construction details of each storm water quality measure: The location, dimensions, specifications, and details of the proposed erosion control measures are provided on the erosion control and the erosion control detail sheets.
B11 - Temporary surface stabilization methods appropriate for each season: See seeding schedule detail and erosion control blanket staple pattern on sheet C70. Temporary surface stabilization is required on any bare of thinly vegetated area that is scheduled or likely to remain inactive for a period of 15 days.
B12 - Permanent surface stabilization specifications: See erosion control installation and seeding schedule details on sheet C70. Permanent surface stabilization is required upon final grading.
B13 - Material handling and spill prevention plan: Material handling and spill prevention plan: In order to minimize the release of potential pollutants during construction the contractor shall implement this material handling and spill prevention plan. The contractor shall review this plan with all subcontractors and require that they implement the plan as well. If a spill should occur please contact the appropriate authorities below:
B14 - Monitoring and maintenance guidelines for each proposed pollution prevention measure: Project site owner or their representative, knowledgeable in erosion and sediment control, will inspect the site for stormwater pollution prevention deficiencies at least weekly and again within 24 hours of every 1/2 inch rain event. Notify the City of Columbus if any problems occur or plan changes need to be made see erosion control schedule on this sheet for maintenance details.
B15 - Erosion and Sediment control specifications for individual building lots: Not Applicable

Part C (Post Construction Component Assessment)

C1 - Description of pollutants and their sources associated with the proposed land use: Expected pollutants will be minimal in nature, post-development. Oil, grease, antifreeze, gasoline, etc. may occur in limited amounts as a result of parking lot and truck dock operations.
C2 - Sequence describing storm water quality measure implementation: This site discharges into an existing detention/ retention pond. Other erosion control measures will not be removed until final stabilization has occurred. Final stabilization of the site will be accomplished using permanent seeding and landscaping of all open areas disturbed by construction and the placement of asphalt pavement.
C3 - Description of proposed post construction storm water quality measures: Description of proposed post construction stormwater quality measures: The detention pond is intended to be a stormwater quality measure by its design in that it contains more than the volume required for sediment control. The detention basin along with its forebay is designed to capture the required sediment from the contributing upstream areas prior to leaving the site.
C4 - Location, dimension, specification and construction details of each storm water quality measure: This site discharges into an existing detention/ retention pond that was build for the subdivision this site lies in.
C5 - Description of maintenance guidelines for proposed post construction water quality measures: Maintenance of all stormwater pollution prevention measures will be the responsibility of the project owner. Utilizing procedures outlined on these plans. Any grassed or vegetated areas that experience erosion from rainfall events should be repaired and revegetated as soon as possible. Trash or litter should be picked up and properly disposed to prevent it from getting into the storm drainage system and downstream waterways. Erosion of the steep banks of any berms or swales should be addressed as soon as it becomes visible by filling the eroded area with suitable soil and establishing vegetation immediately, preferably by sodding. Pavement areas should be monitored for pollutants. Any large quantities of fluids such as oil, antifreeze, brake fluid, etc. found on the pavement should be reported to the owner. The owner should clean the pollutants and prevent the source from entering the site in the future. Finally, pavements should also be monitored for sediment coming from vegetative areas. If post-construction erosion is occurring, the source should be re-stabilized as soon as possible by seeding, sodding or mulching.
1. Construction Equipment
A. Fueling, lubrication, and fluids: All operations involving the addition of fluids to equipment should be done in one location, so that spills are limited to that specific location which will facilitate the cleanup of spills. If an outside fueling tank is planned to be on site, it shall be double walled and stored in this designated area. This location is an area that will not allow spilled fluids to migrate into subsurface soils. In the event of a spill, the fluid shall immediately be cleaned up by removing the contaminated soil or stone which shall be disposed of in an acceptable manner. Spills on hard surfaces shall be soaked up by an acceptable material such as oil dry and the absorbent material disposed of in a proper manner. The spill shall also be reported immediately to the contractor's superintendent.
B. Equipment repair, especially when fluids must be removed from the equipment or the possibility of fluid spills is high, should always be done offsite at a facility that is more suitable than a construction site to handle spills. When equipment must be repaired onsite, it should be moved to the maintenance and fueling area if possible. Otherwise, suitable on site containers should be placed under the equipment during repair to catch any spilled fluids and these fluids should be disposed of in a proper manner.
C. All reusable fluid containers, such as gasoline cans, shall be inspected for leaks each time they are used. If leaks are found, the fluid shall be removed from the container in a proper manner and the container disposed of in an acceptable manner. Empty disposable containers, such as grease tubes and lubricating oil and brake fluid containers, and their packaging, shall be disposed of in a proper manner and shall not be left on the ground or in the open on the construction site.
2. Construction materials and their packaging
A. Erosion control measures shown on these plans shall be implemented prior to and during construction in the proper sequencing to minimize soil erosion. Erosion controls shall be inspected and maintained as described elsewhere in these plans. Excessive dusting of soil on the site shall be minimized by reducing construction traffic across bare soil during dry and / or windy weather, and by applying water or other acceptable dust control measures to the soil. Upon completion of construction and suitable establishment of permanent vegetation, temporary erosion control measures such as silt fence and inlet protection devices shall be removed in a manner to minimize additional land disturbance. Any areas disturbed by these operations shall be properly revegetated.
B. Large waste materials created by cutting, sawing, drilling, or other operations shall be properly disposed of in suitable onsite waste containers. The site shall be checked at the end of the day, at a minimum, and all waste materials, including those blown across or off the site by wind, shall be picked up and disposed of in suitable containers. Where possible, operations such as sawing that create small particles should be performed in one spot in an area protected from wind, and waste particles collected and disposed of frequently to minimize wind dispersal. Packaging used to transport materials to the site for construction of the facility shall be disposed of properly, whether the material is taken out of its packaged and incorporated into the project immediately or stored onsite for future use. Packaged materials stored onsite shall be inspected regularly and any loose packaging shall be repaired or disposed of properly.
C. All dewatering activities shall be done in accordance to good erosion control practices. These practices should include the use of dirt bags such as dandy dirt bags. The use of these types of dewatering devices will remove large quantities of silt, sediment, and dirt and prevent these materials from entering the storm sewer system.
D. If the use of lime is used to stabilize the soil of the site then all construction equipment used shall be cleaned of all excess material with water in the construction staging area as shown within these plans.
E. Nutrients and fertilizers shall only be used to establish rapid vegetation. When these products are utilized, the used should pay strict attention to the products recommend usage.
3. Concrete waste water
A. All concrete waste water shall be disposed of in the designated concrete washout areas shown on the erosion control sheet. Concrete waste water shall be discharged into a 4' - high, 10' - diameter doughnut-type mulch berm constructed over a geotextile fabric. Contractor shall inspect this area on a daily basis at a minimum. When this area becomes full, the pollutants shall be excavated, placed in an acceptable container and disposed of in a proper manner.
4. Paint Products
A. All excess paint and their related products shall be disposed of in the manner by which the manufacturer suggests. Under no circumstances shall paint or their related products be cleaned or disposed of in soil, sanitary sewers, storm sewers or detention basins. Any violation of this shall be reported to the job superintendent.
In the event of accidental contamination, all efforts should be made to remove contaminants in an appropriate manner. The Columbus fire department (812) 376-2679 should be contacted immediately to determine if further measures are needed.

Construction Sequence

- 1. Submit notice of intent (NOI) letter to idem a minimum of 48 hours prior to initiation of land disturbing activities. A proof of publication in a newspaper of general circulation in the project site area will be included with the NOI letter submittal.
2. The construction project manager shall be the person responsible for complying with the onsite SWPP. Coordinate responsibility for completing the site reviews after each 3/4" rainfall and/or a minimum of one time a week.
3. Notify Dan Perez, IDEM Rule 5 inspector for Bartholomew county at (812) 358-2027 of dperez1@dem.in.gov and city of Columbus at (812) 376-2550 within 48 hours of starting construction. Schedule a preconstruction meeting with SWCD after the perimeter practices have been installed.
4. Post the contact information at the construction entrance. Include a copy of the NOI and the contact information for the person responsible for implementing the SWPPP. THE SWPPP should be onsite and weekly site reports need to be available within 48 hours of a request.
5. Install silt fence and inlet protection for existing inlets. Install temporary construction entrance as required by detail.
6. Locate fueling area, port-o-let, solid waste bin, concrete wash-out with a polyethylene liner and staging area.
7. Demolish and rough grade entire site. Disturbed areas are to be kept to a minimum. Dust shall be kept to a minimum by utilizing sprinkling, calcium chloride, vegetative cover, spray on adhesives or approved methods.
8. Fine grade building pad and begin foundation.
9. Construct underground detention, install storm sewers and inlet/outlet protection.
10. Install underground utilities.
11. Stone parking areas and drives.
12. Continue building construction, apply permanent seeding.
13. Add binder course on parking areas and drives.
14. Install landscaping.
15. Complete building construction.
16. Add surface course of asphalt.
17. Silt fence and inlet protection shall remain in place until areas are stabilized. Contractor to coordinate the transfer of maintenance responsibilities, as required, with the owner.
18. Once the construction activity is complete, a completed rule 5 notice of termination (NOT) form will be filed with IDEM.
Owner Contact: General Contractor (to be determined)
Emergency Response : 911
Columbus Fire Department (812) 376-2679
Columbus Police Department- (812) 379-1689
Indiana Department of Natural Resources- (812) 477-8773
Bartholomew County Soil and Water- (812) 378-1280

Table with 2 columns: NO., DATE, DESCRIPTION. Row 1: 1, [blank], [blank]

AWSDENTAL
AWS Properties, LLC
COLUMBUS TOWNSHIP, BARTHOLOMEW COUNTY, INDIANA
Columbus, Indiana
EROSION CONTROL NARRATIVE

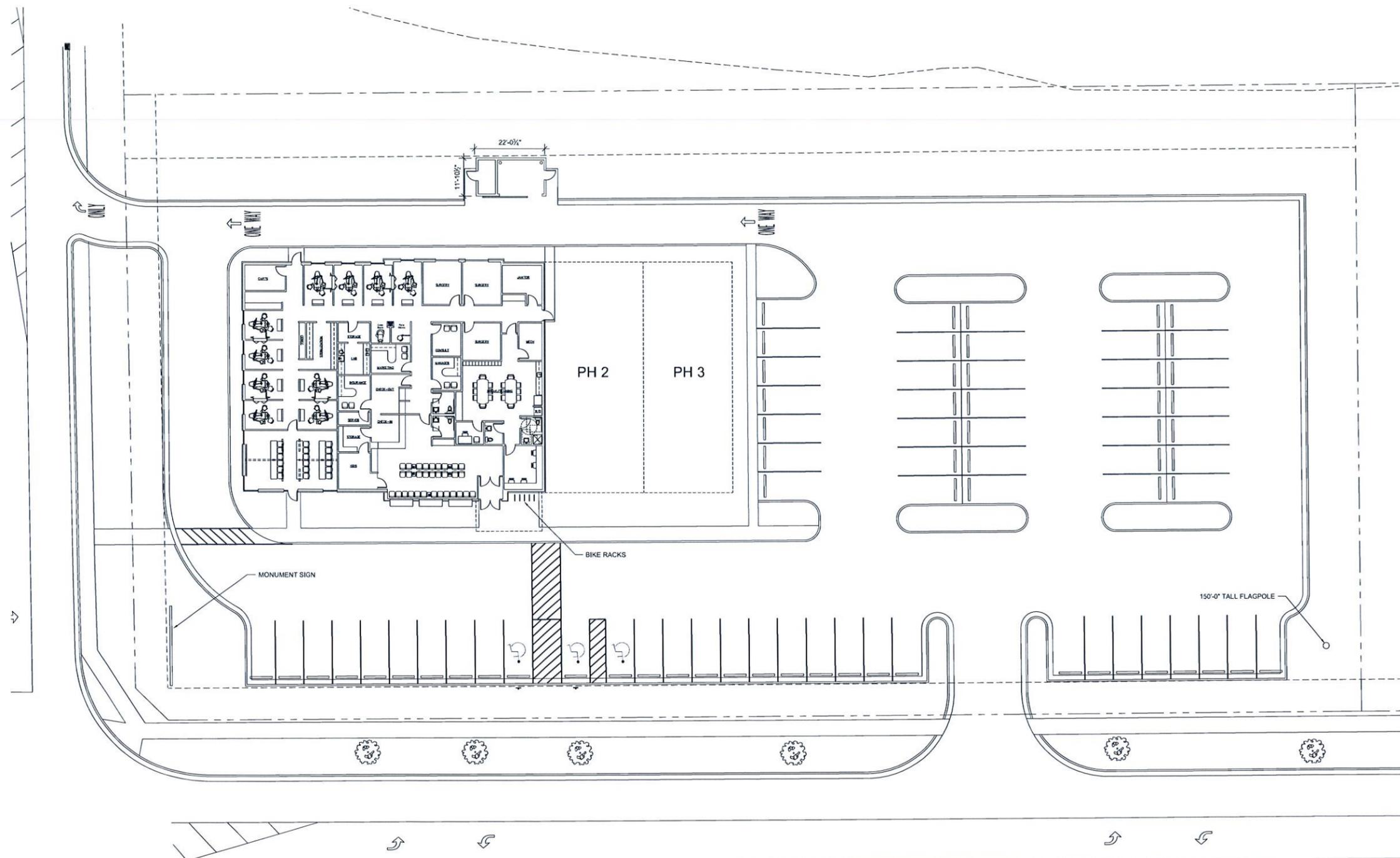
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CHECKED BY:
DATE: JUNE 25, 2015
SCALE: AS NOTED

CERTIFIED BY:



ERIC G. GRAY, P.E.
15101FPUD13
SHEET OF C80

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.



1 SITE PLAN
1/16"=1'-0"



2 BIKE RACK DETAIL
NO SCALE

Certified By:

Scale: 1/16"=1'-0"

Date: 6/25/15

Drawn By: BAR

Checked By:

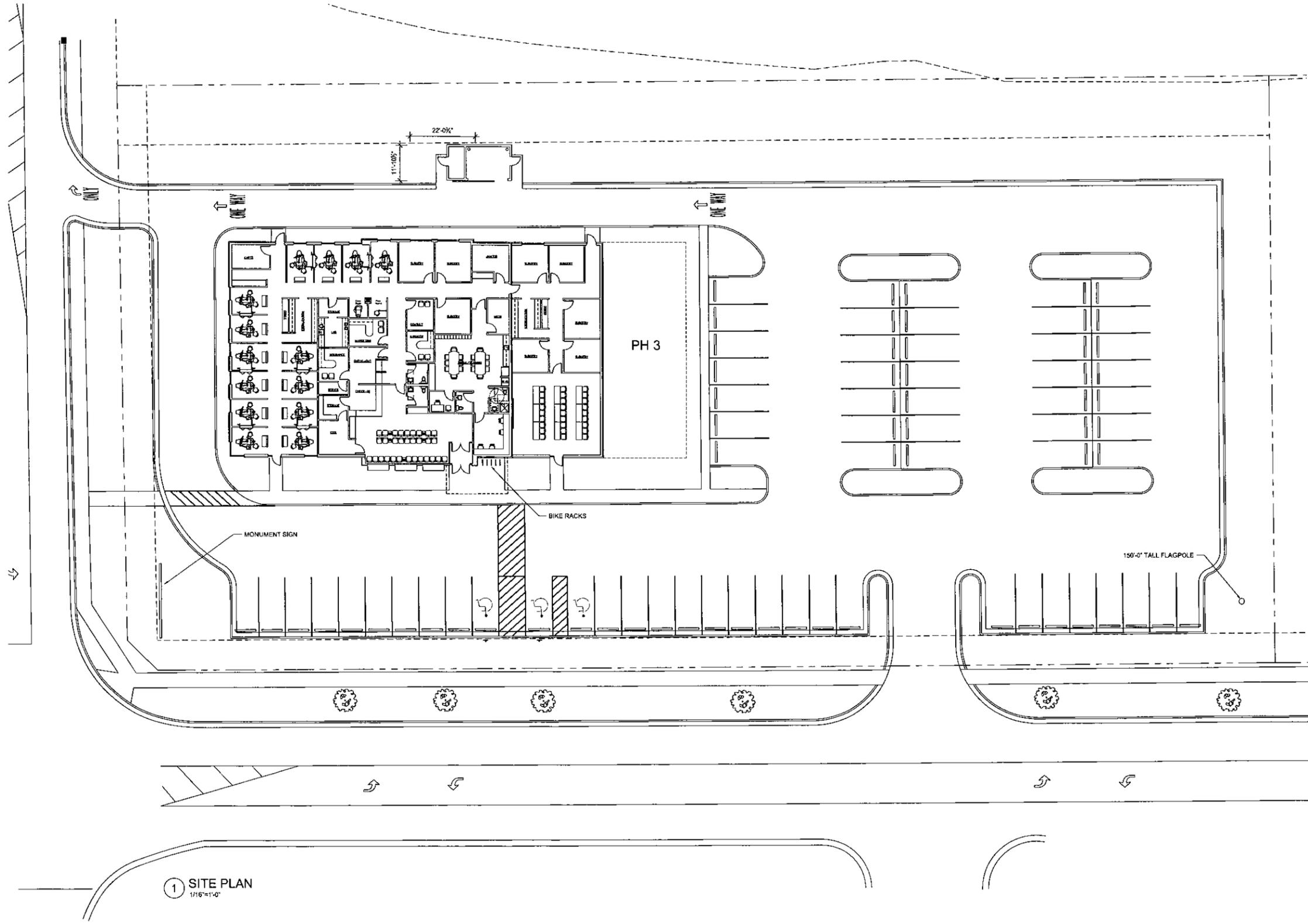
AWS Properties
COLUMBUS, INDIANA

Revisions:

Job Number:

Drawing Name:
SCHEMATIC SITE PLAN
PHASE 1

Drawing Number:



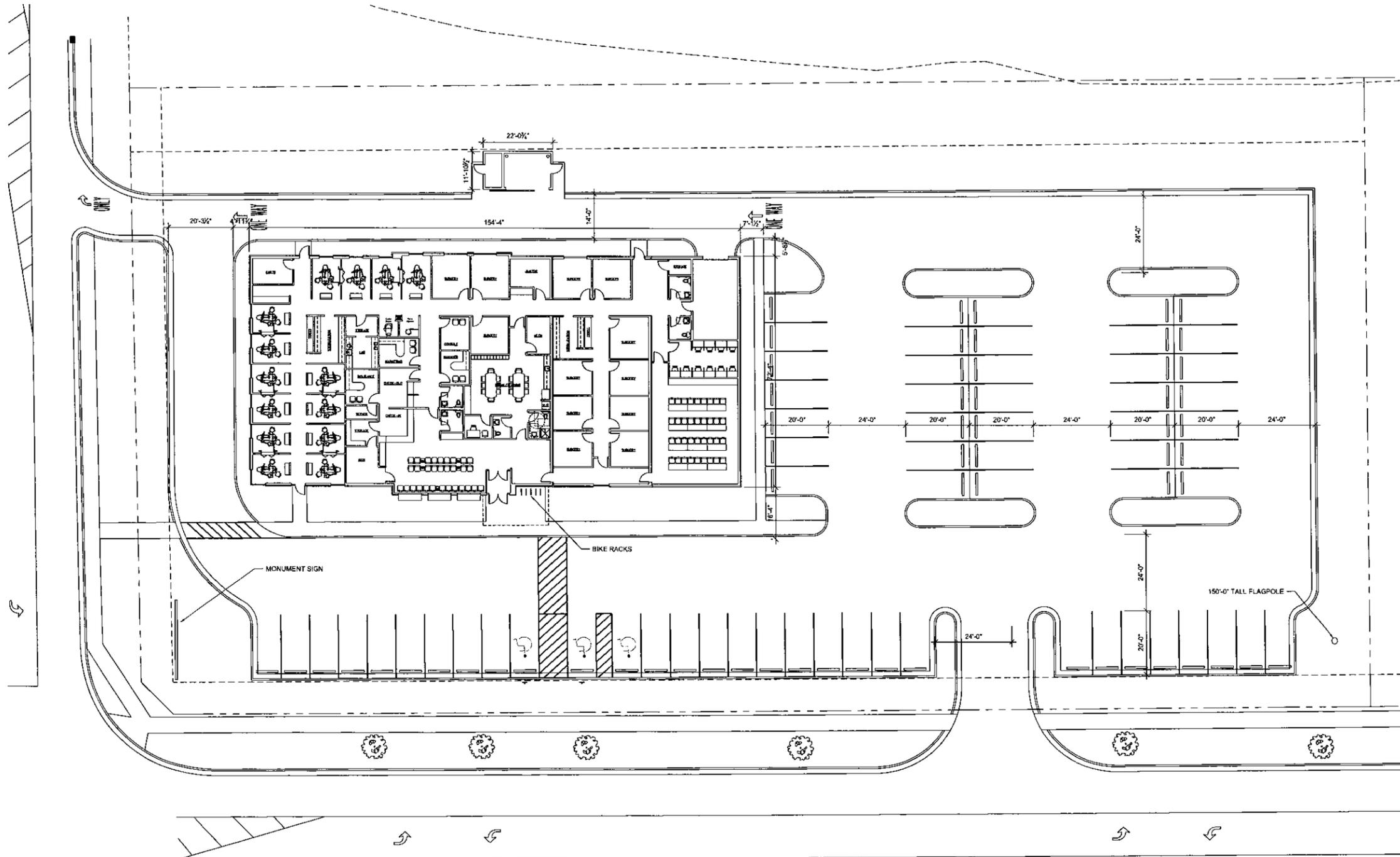
① SITE PLAN
1/16"=1'-0"

PLANOMEN DESIGN
...creating profitable environments...
750 N. College Ave. - Indianapolis, IN 46202
317.439.4355 (t)
www.planomen.com

Certified By:
Scale: 1/16"=1'-0"
Date: 6/25/15
Drawn By: BAR
Checked By:

AWS Properties
COLUMBUS, INDIANA

Revisions:
Job Number:
Drawing Name:
SCHEMATIC SITE PLAN
PHASE 2
Drawing Number:
A1.2



1 SITE PLAN
1/16"=1'-0"

Certified By:

Scale: 1/16"=1'-0"

Date: 6/25/15

Drawn By: BAR

Created By:

AWS Properties
COLUMBUS, INDIANA

Revisions:

Job Number:

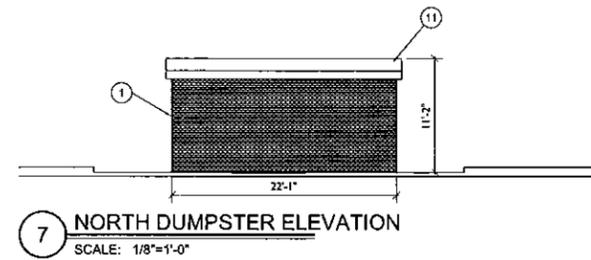
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PHASE 3

Drawing Number:

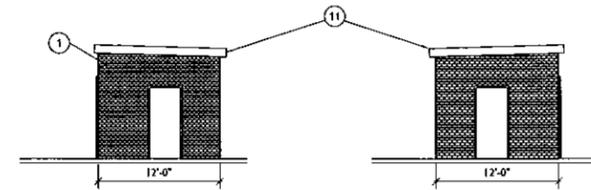
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ELEVATION KEYNOTES

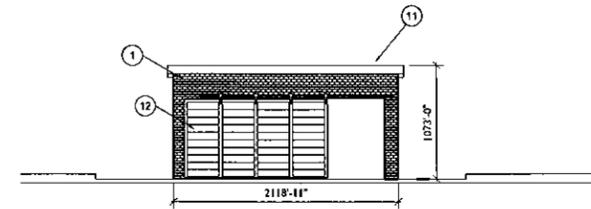
- ① DARK BRICK
- ② GRAY BRICK, VERTICALLY LAID
- ③ EIFS
- ④ LIMESTONE
- ⑤ METAL CAP PARAPET
- ⑥ HARDIE BOARD
- ⑦ STOREFRONT WINDOWS
- ⑧ GLAZED GARAGE DOOR
- ⑨ WHITE RIVER DENTAL BUILDING SIGN, SEE DETAIL
- ⑩ WHITE RIVER DENTAL MONUMENT SIGN, SEE DETAIL
- ⑪ EPDM ROOFING
- ⑫ SLIDING BARN DOOR



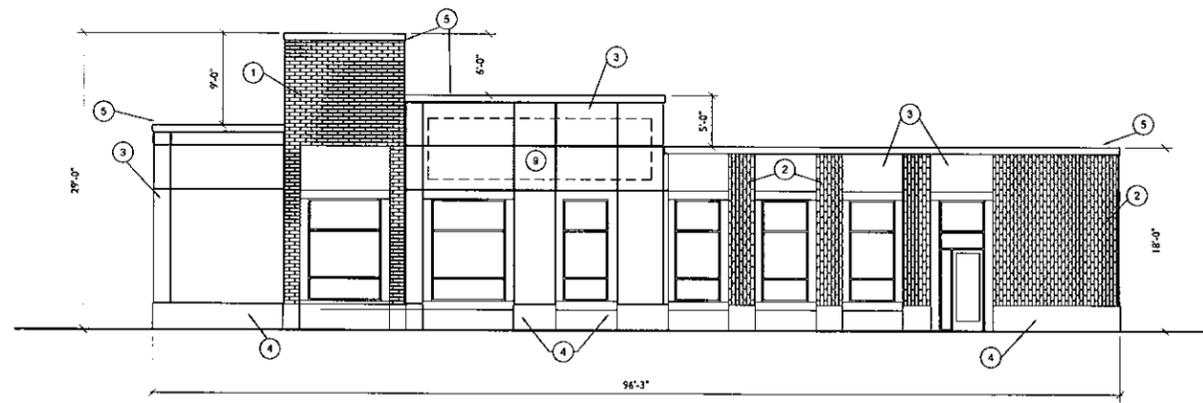
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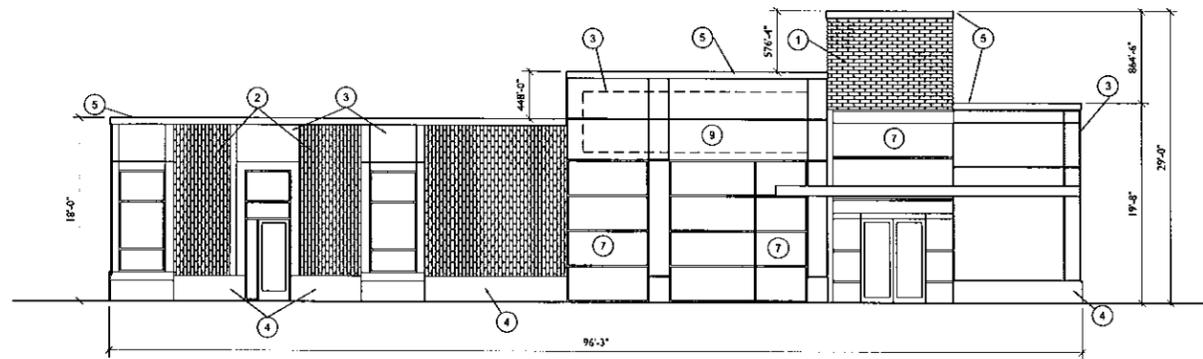
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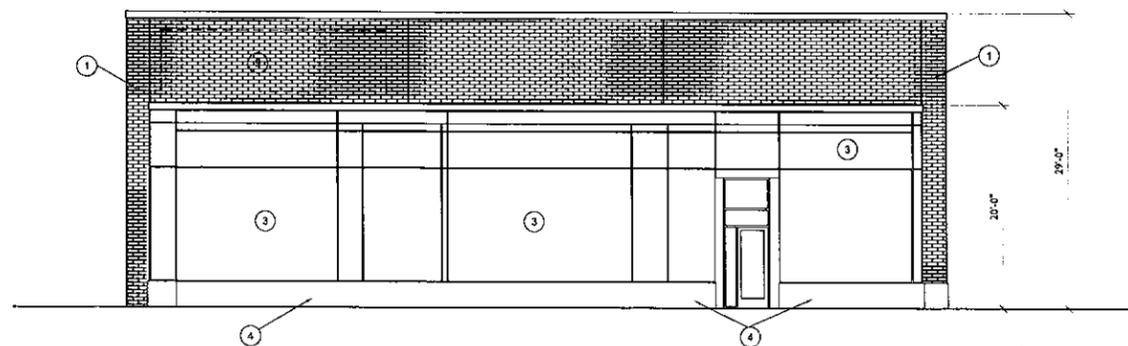
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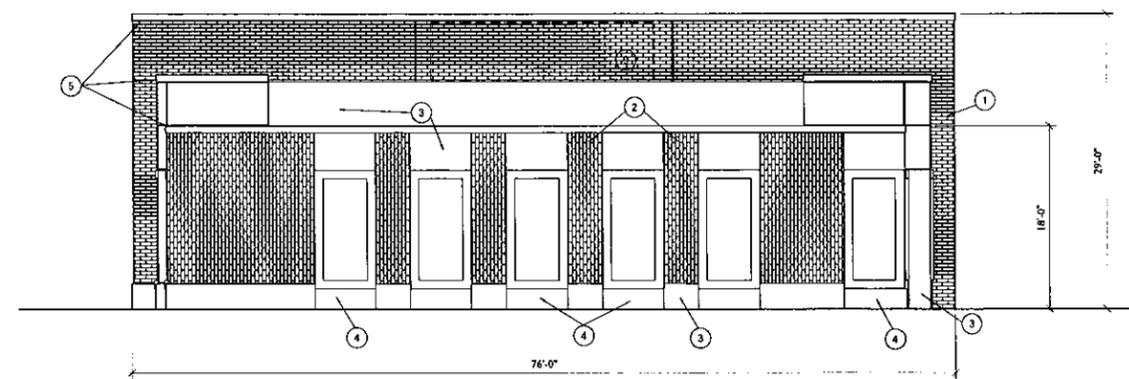
4 PHASE 1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 PHASE 1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 PHASE 1 EAST ELEVATION
SCALE: 1/8"=1'-0"



1 PHASE 1 WEST ELEVATION
SCALE: 1/8"=1'-0"



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www.phenomdesign.com

Certified By:

Scale: 1/16"=1'-0"
Date: 6/25/15
Drawn By: BAR
Checked By:

AWS Properties
COLUMBUS, INDIANA

Revisions:

Job Number:

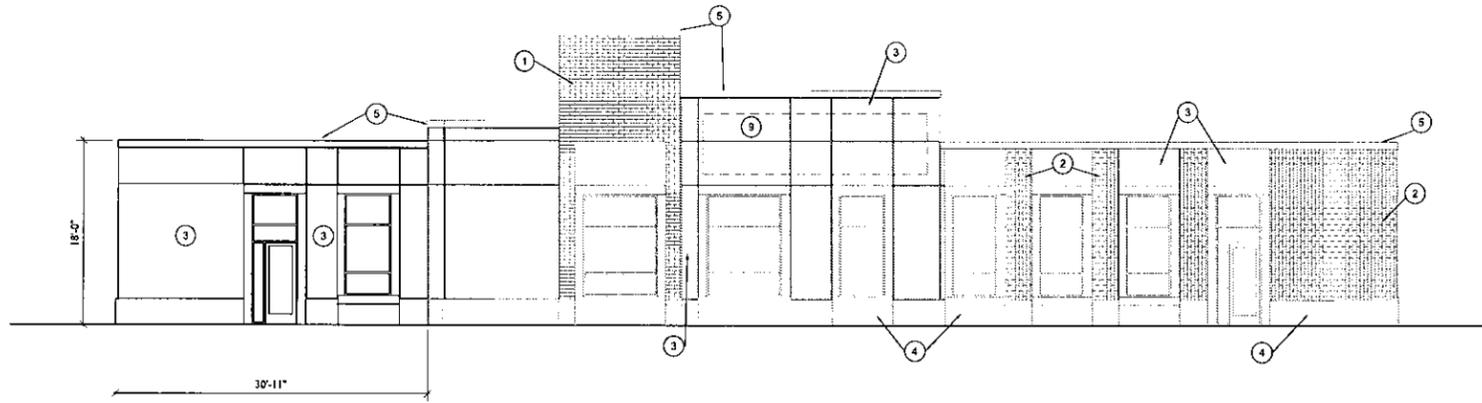
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EXTERIOR ELEVATION
PHASE 1

Drawing Number:

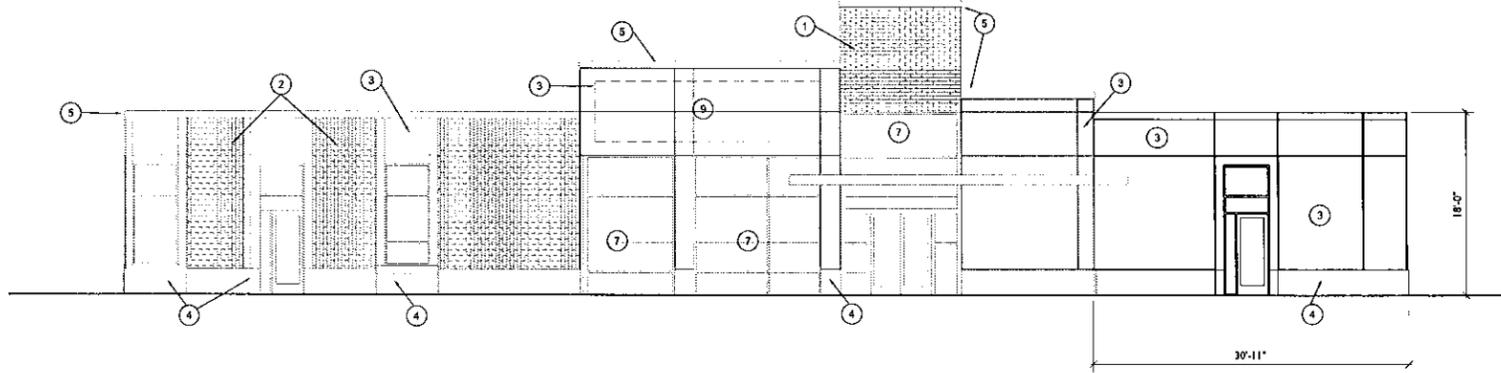
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ELEVATION KEYNOTES

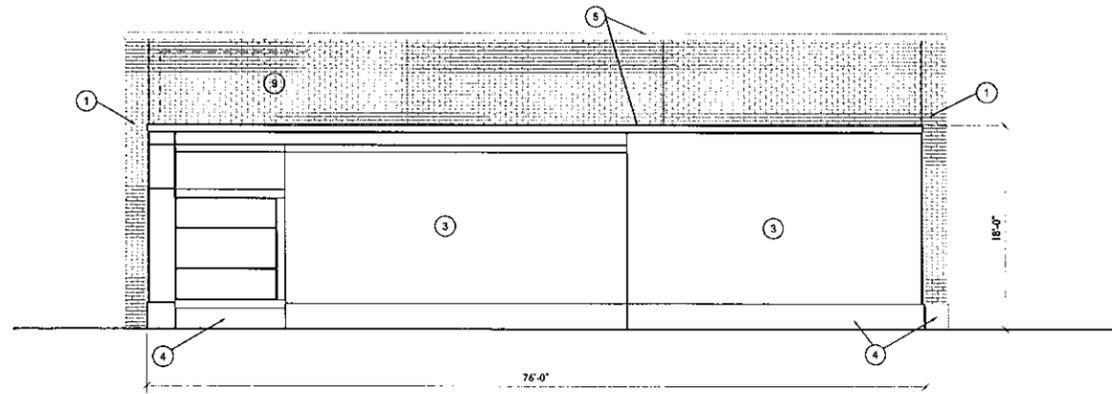
- ① DARK BRICK
- ② GRAY BRICK, VERTICALLY LAID
- ③ RFS
- ④ LIMESTONE
- ⑤ METAL CAP PARAPET
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- ⑦ STOREFRONT WINDOWS
- ⑧ GLAZED GARAGE DOOR
- ⑨ WHITE RIVER DENTAL BUILDING SIGN, SEE DETAIL
- ⑩ WHITE RIVER DENTAL MONUMENT SIGN, SEE DETAIL



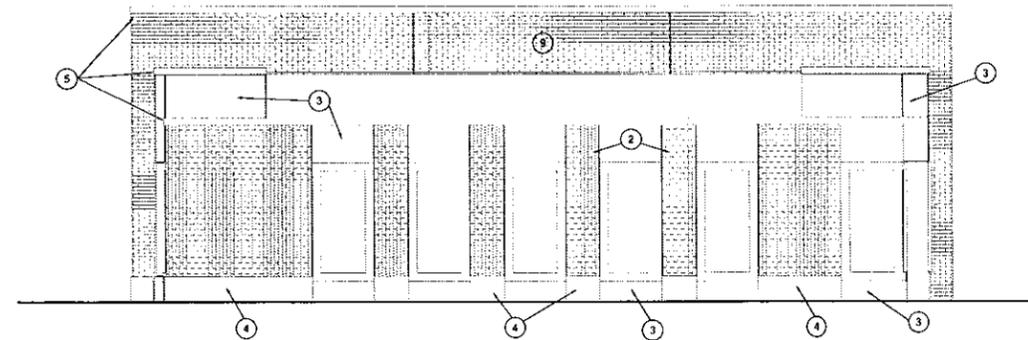
④ PHASE 2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



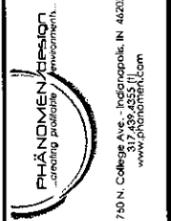
③ PHASE 2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



② PHASE 2 EAST ELEVATION
SCALE: 1/8"=1'-0"



① PHASE 2 WEST ELEVATION
SCALE: 1/8"=1'-0"



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Certified By:

Scale: 1/16"=1'-0"
Date: 6/25/15
Drawn By: BAR
Checked By:

AWS Properties
COLUMBUS, INDIANA

Revisions:

Job Number:

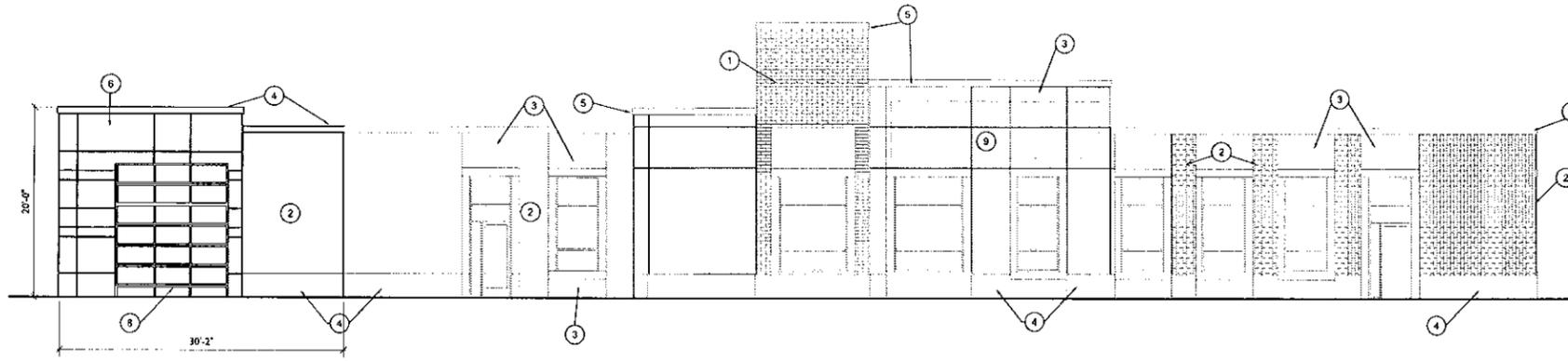
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PHASE 2

Drawing Number:

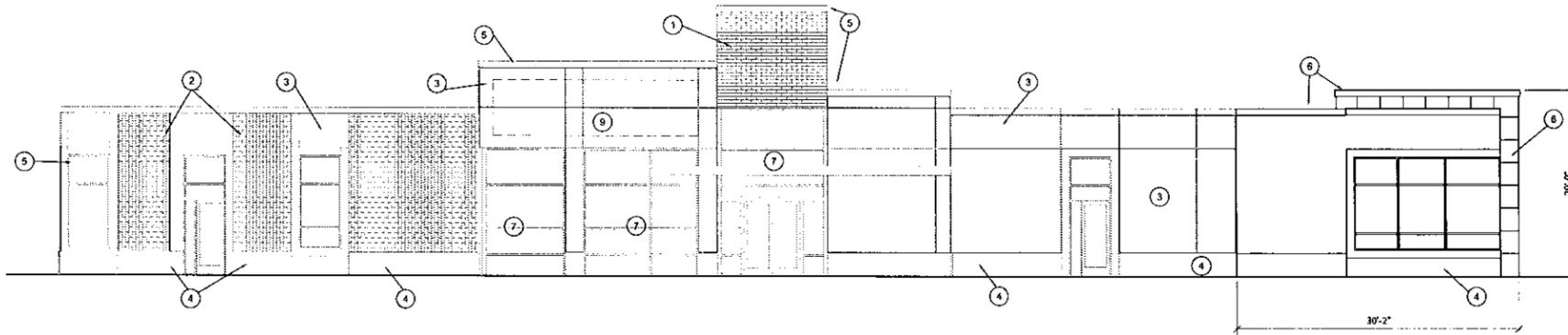
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ELEVATION KEYNOTES

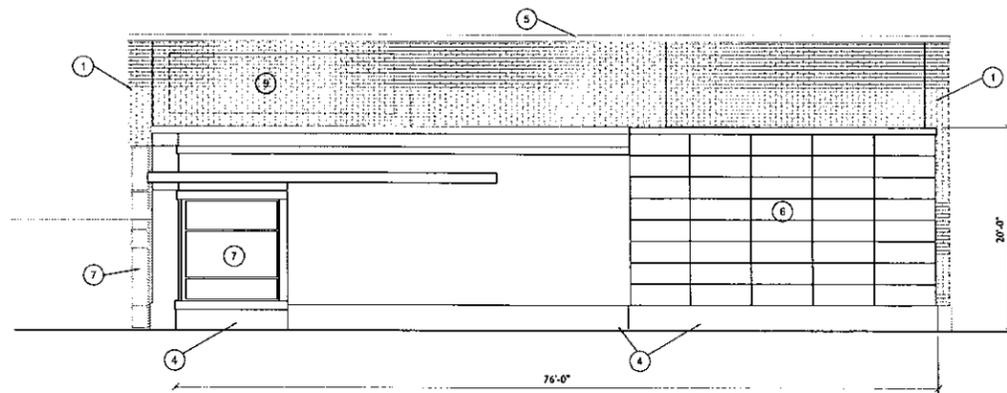
- 1 DARK BRICK
- 2 GRAY BRICK, VERTICALLY LAID
- 3 EIFS
- 4 LIMESTONE
- 5 METAL CAP PARAPET
- 6 HARDIE BOARD
- 7 STOREFRONT WINDOWS
- 8 GLAZED GARAGE DOOR
- 9 WHITE RIVER DENTAL BUILDING SIGN, SEE DETAIL
- 10 WHITE RIVER DENTAL MONUMENT SIGN, SEE DETAIL



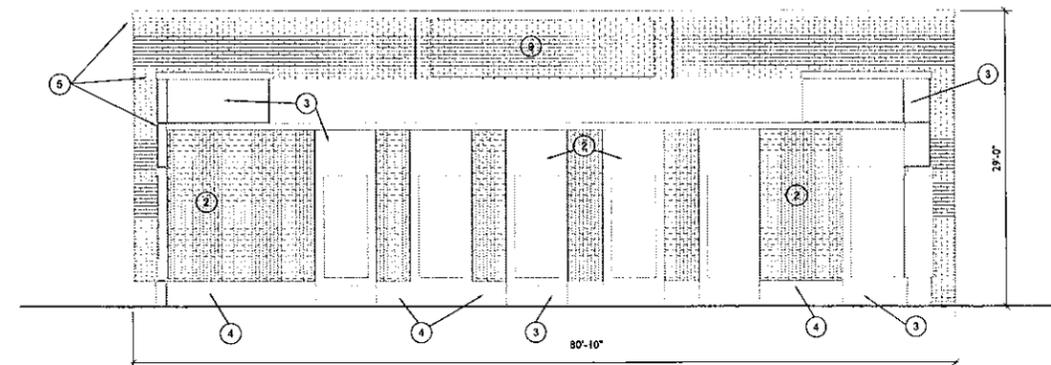
4 PHASE 3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 PHASE 3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 PHASE 3 EAST ELEVATION
SCALE: 1/8"=1'-0"



1 PHASE 3 WEST ELEVATION
SCALE: 1/8"=1'-0"



Certified By:

Scale:	1/16"=1'-0"
Date:	6/25/15
Drawn By:	BAR
Checked By:	

AWS Properties
COLUMBUS, INDIANA

Revision:

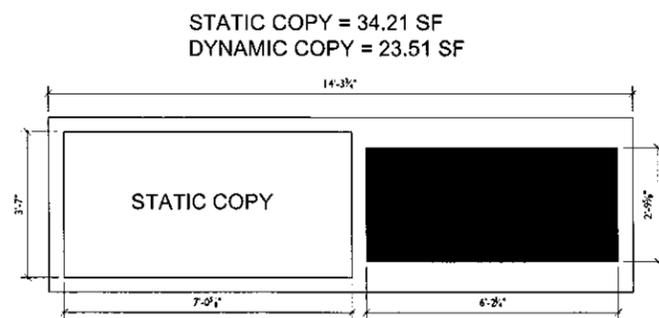
Job Number:

Drawing Name:
EXTERIOR ELEVATION
PHASE 3

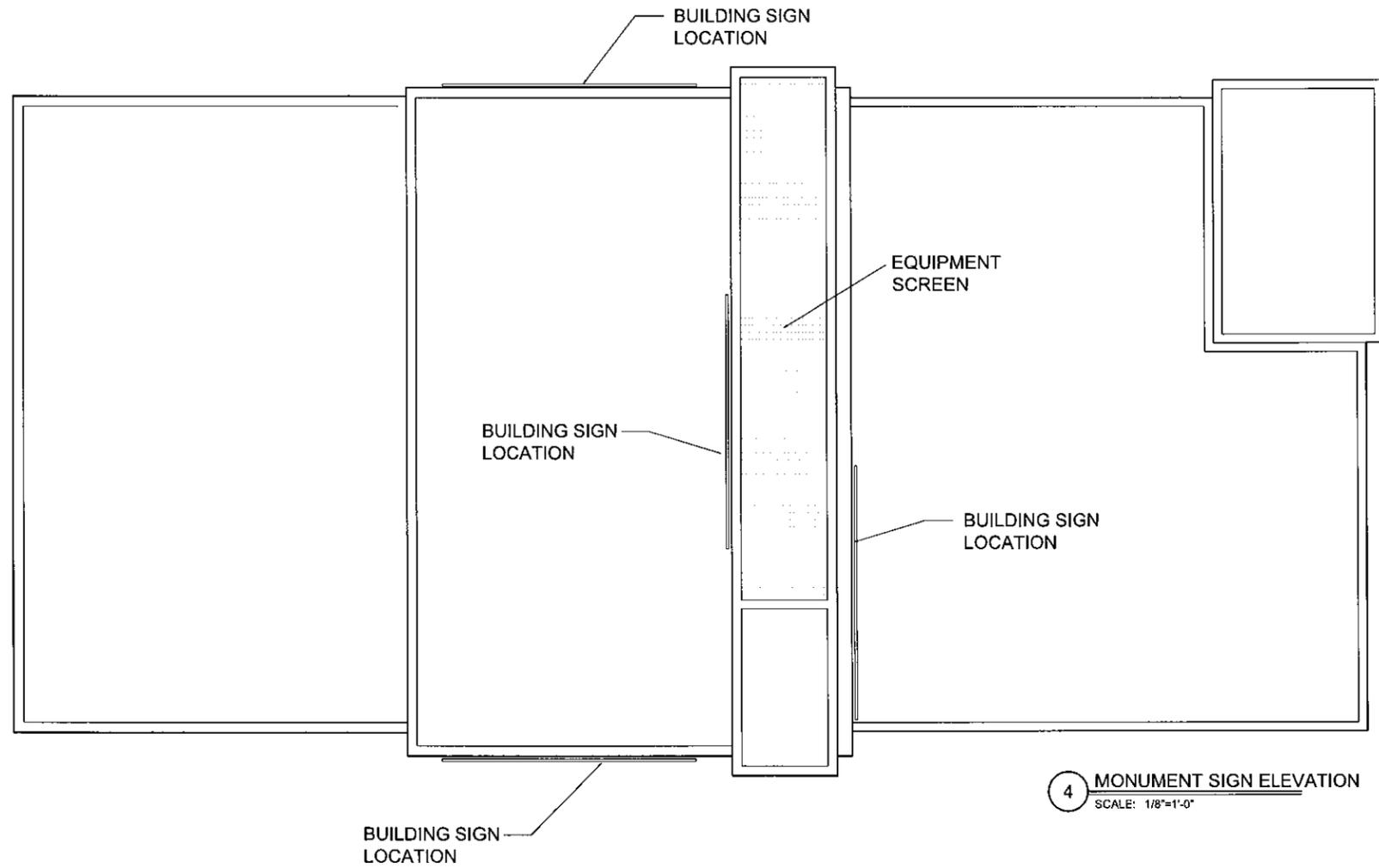
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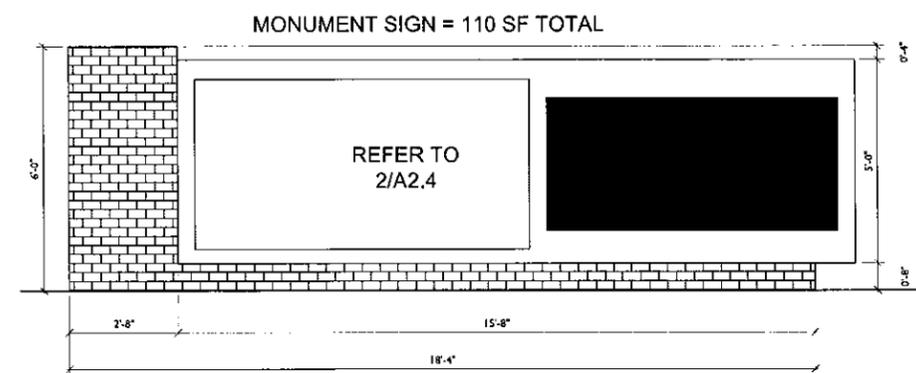
3 BUILDING SIGN ELEVATION
SCALE: NO SCALE



2 SIGN ELEVATION
SCALE: 1/2"=1'-0"



4 MONUMENT SIGN ELEVATION
SCALE: 1/8"=1'-0"



1 MONUMENT SIGN ELEVATION
SCALE: 1/2"=1'-0"

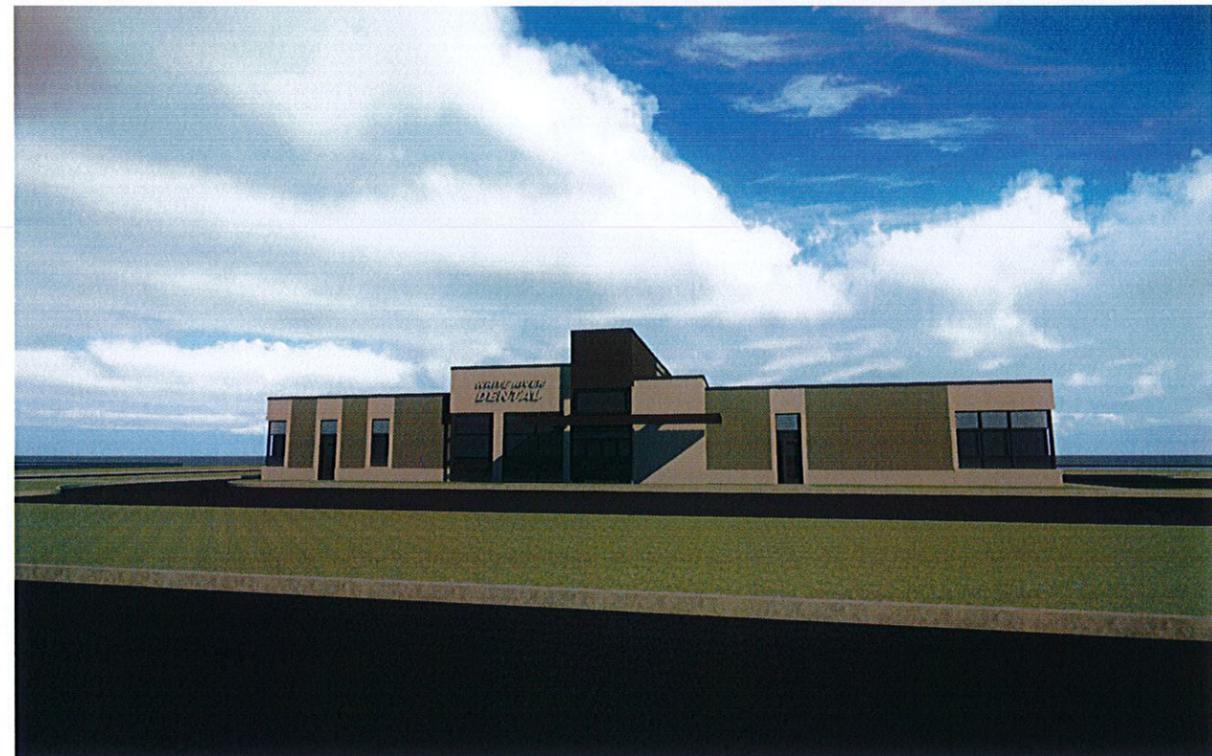
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Drawn By: BAR	Checked By:

AWS Properties
COLUMBUS, INDIANA

Revisions:
Job Number:
Drawing Name: ROOF PLAN AND SIGN ELEVATION
Drawing Number:



4 VIEW FROM SOUTHEAST CORNER
SCALE: NO SCALE



3 VIEW FROM SOUTH
SCALE: NO SCALE



2 AERIAL FROM SOUTHWEST CORNER
SCALE: NO SCALE



1 VIEW FROM SOUTHWEST CORNER
SCALE: NO SCALE

Certified By

Scale: NO SCALE

Date: 6/25/15

Drawn By: BAR

Checked By:

AWS Properties
COLUMBUS, INDIANA

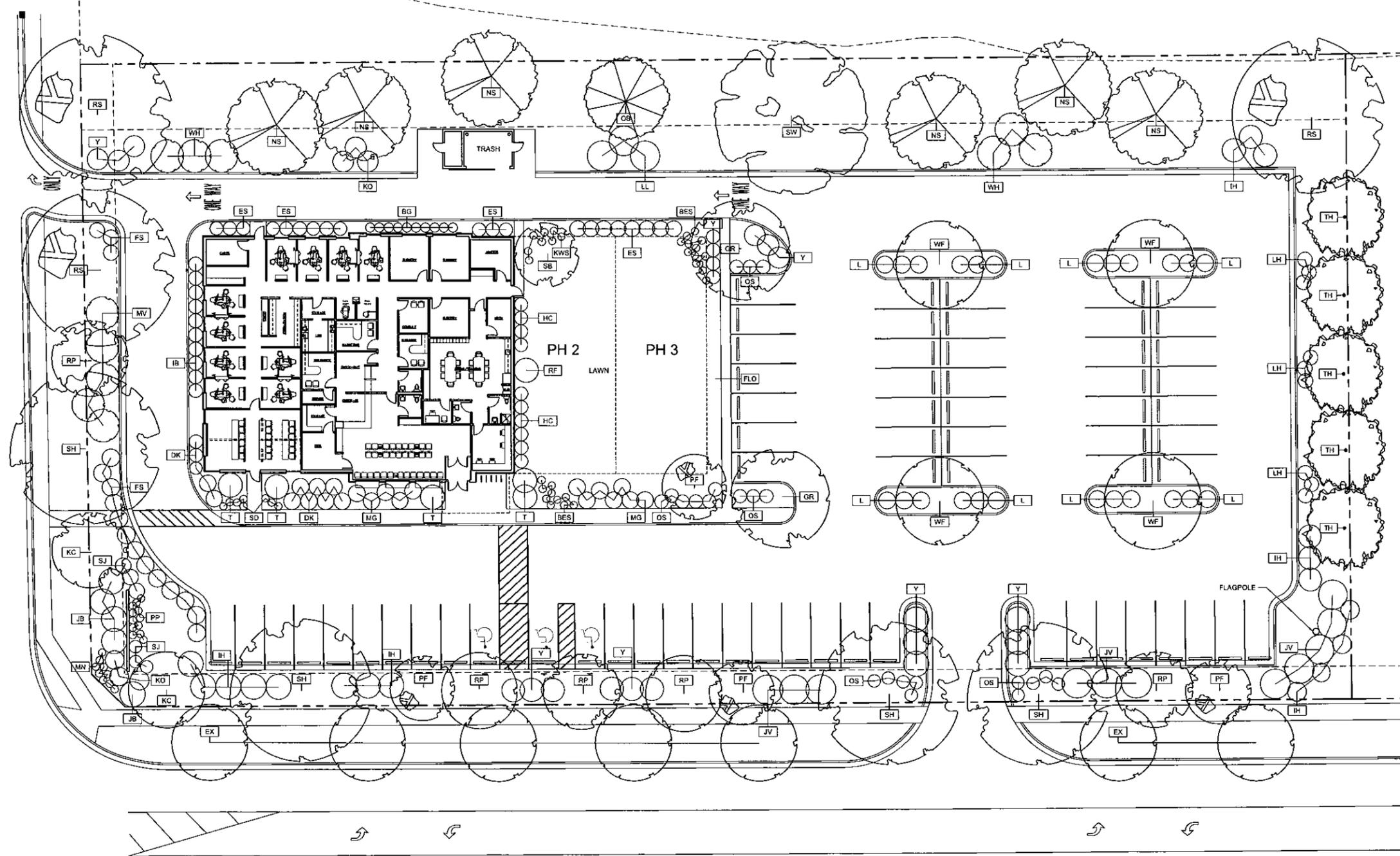
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Job Number

Drawing Name
RENDERINGS

Drawing Number

A3.0



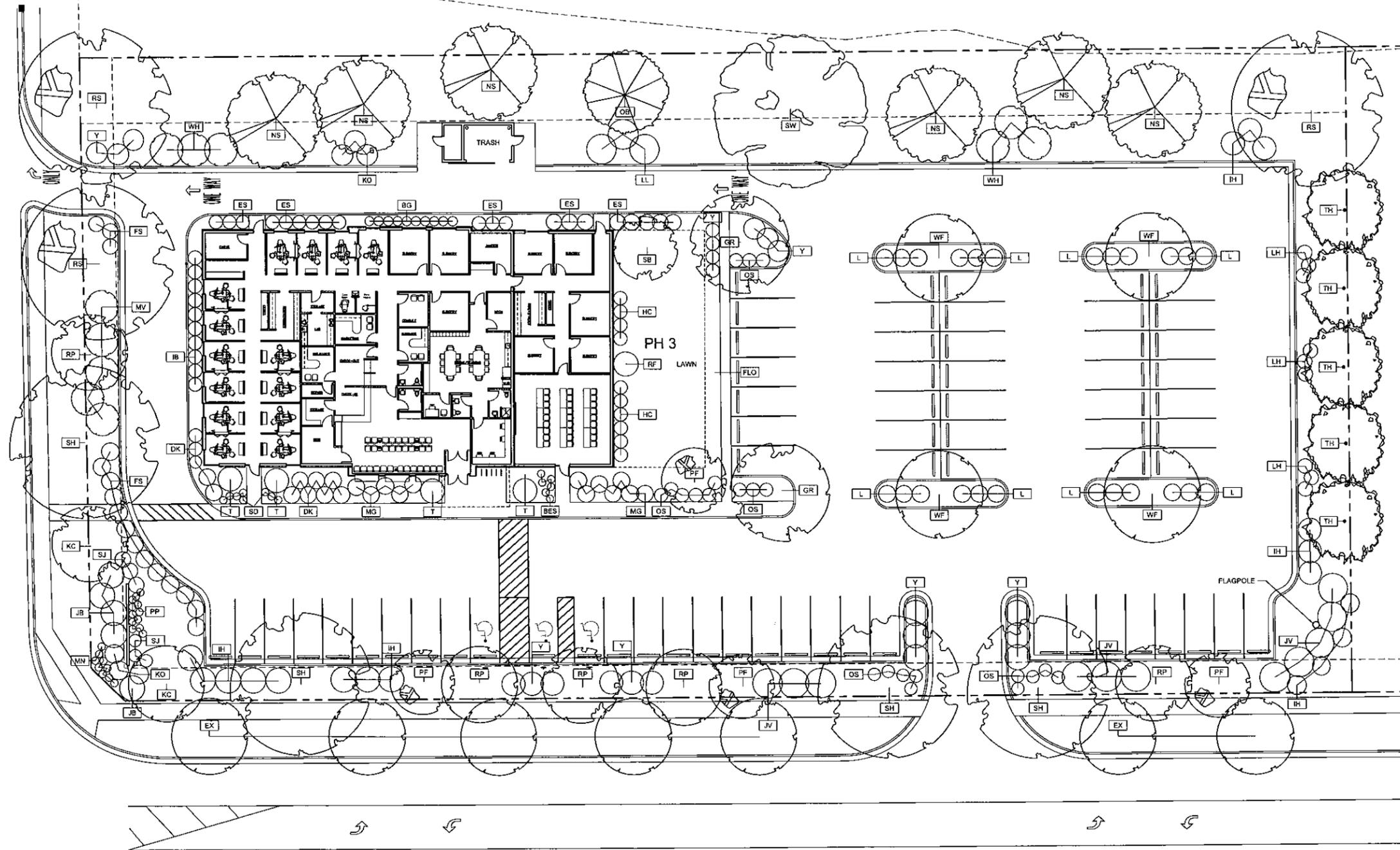
1 PHASE 1
LANDSCAPE PLAN
SCALE: 1/16"=1'-0"

PLANT SCHEDULE						
TREE	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
SW	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5"	1	25	25
SH	GLEDITSIA TRIACANTHOS	SKYLINE HONEY LOCUST	2.5"	5	25	125
RS	ACER RUBRUM	RED SUNSET MAPLE	2.5"	3	25	75
RP	QUERCUS X BICOLOR	REGAL PRINCE OAK	2.5"	5	25	125
TH	CRATAEGUS CRUSGALI	THORNLESS COCKSPUR HAWTHORN	2.5"	5	15	75
GR	KOELERUBIA PANICULATA	GOLDEN RAIN TREE	2.5"	2	15	30
SB	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	6-7' CL.	1	10	10
KC	PRUNUS SERRULATA	KWANZAN CHERRY	2.5"	2	15	30
PF	MALUS X	PRAIRIEFIRE CRABAPPLE	2.5"	4	10	40
NS	PICEA ABIES	NORWAY SPRUCE	6-7'	6	25	150
OB	PIEA PUNGENS	ONTARIO BLUE SPRUCE	6-7'	1	15	15
WF	NYSSA SYLVATICA	WILDFIRE BLACK GUM	2.5"	4	25	100
RF	CERCIS CANADENSIS	RUBY FALLS REDBUD	6'	1	10	10
EX	PYRUS	EXISTING BRADFORD PEAR	N/A	6	15	90

PLANT SCHEDULE						
SHRUBS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
L	SYRINGA MEYERI	DWARF KOREAN LILAC	18"	24	7.5	180
Y	TAXUS X MEDIA	DENSE SPREADING YEWS	18"	15	7.5	112.5
T	HYDRANGEA PANICULATA	LATE PANICLE HYDRANGEA	18"	5	7.5	37.5
HC	CLETHRA ALNIFOLIA	HUMMINGBIRD SUMMERSWEET	18"	10	7.5	75
MG	MEGACALYPSUS SINGENSIS	DWARF MAIDEN GRASS	3 GAL	5	7.5	37.5
DK	CARYOPTERIS X CLANDONENSIS	DARK KNIGHT CARYOPTERIS	3 GAL	12	7.5	90
IB	ILEX GLABRA	SHAMROCK INK BERRY	18"	10	7.5	75
ES	HYDRANGEA MACROPHYLLA	ENDLESS SUMMER HYDRANGEA	3 GAL	13	7.5	97.5
KO	ROSA X KNOCK OUT	KNOCK OUT ROSE	3 GAL	8	7.5	60
JB	JUNIPERUS SABINA	BUFFALO JUNIPER	3 GAL	5	7.5	37.5
SJ	HYPERICUM PRONDOSUM	SUNBURST ST. JOHNSWORT	3 GAL	6	7.5	45
MV	VIBURNUM LANTANA	LANTANA MOHICAN VIBURNUM	18"	5	7.5	37.5
FS	RHUS AROMATICA	GRO-LOW FRAGRANT SUNKIS	3 GAL	8	7.5	60
LL	HYDRANGEA PANICULATA	LIMELIGHT HYDRANGEA	18"	6	7.5	45

PLANT SCHEDULE						
SHRUBS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
JV	VIBURNUM X JUDDII	JUDD'S VIBURNUM	18"	10	7.5	75
IH	CORNUS ALBA	IVORY HALO DOGWOOD	18"	16	7.5	120
WH	HAMAMELIS VERNALIS	VERNAL WITCH HAZEL	18"	8	7.5	60
LH	ITEA VIRGINICA	LITTLE HENRY SWEETSPICE	3 GAL	15	7.5	112.5
OS	CHAENOMELES SPECIOSA	ORANGE STORM QUINCE	3 GAL	14	7.5	105
PERENNIALS						
BG	HOSTA SIEBOLDIANA	BLUE GIANT HOSTA	1 GAL	10		
SD	LEUCANTHEMUM X SUPERBA	BECKY SHASTA DAISY	1 GAL	8		
PP	HEUCHERA	PLUM PUDDING CORAL BELLS	1 GAL	12		
MN	SALVIA NEMEROSA	MAY NIGHT SALVIA	1 GAL	10		
BES	RUDBECKIA FULGIDA	GOLDSTURM BLACK-EYED SUSAN	1 GAL	25		
KWS	ASTILBE CHINENSIS	VISIONS IN PINK ASTILBE	1 GAL	7		
ANNUALS						
FLO	PETUNIAS, GERANIUMS, BEGONIAS, VERBENA, DUSTY MILLER, COLEUS					

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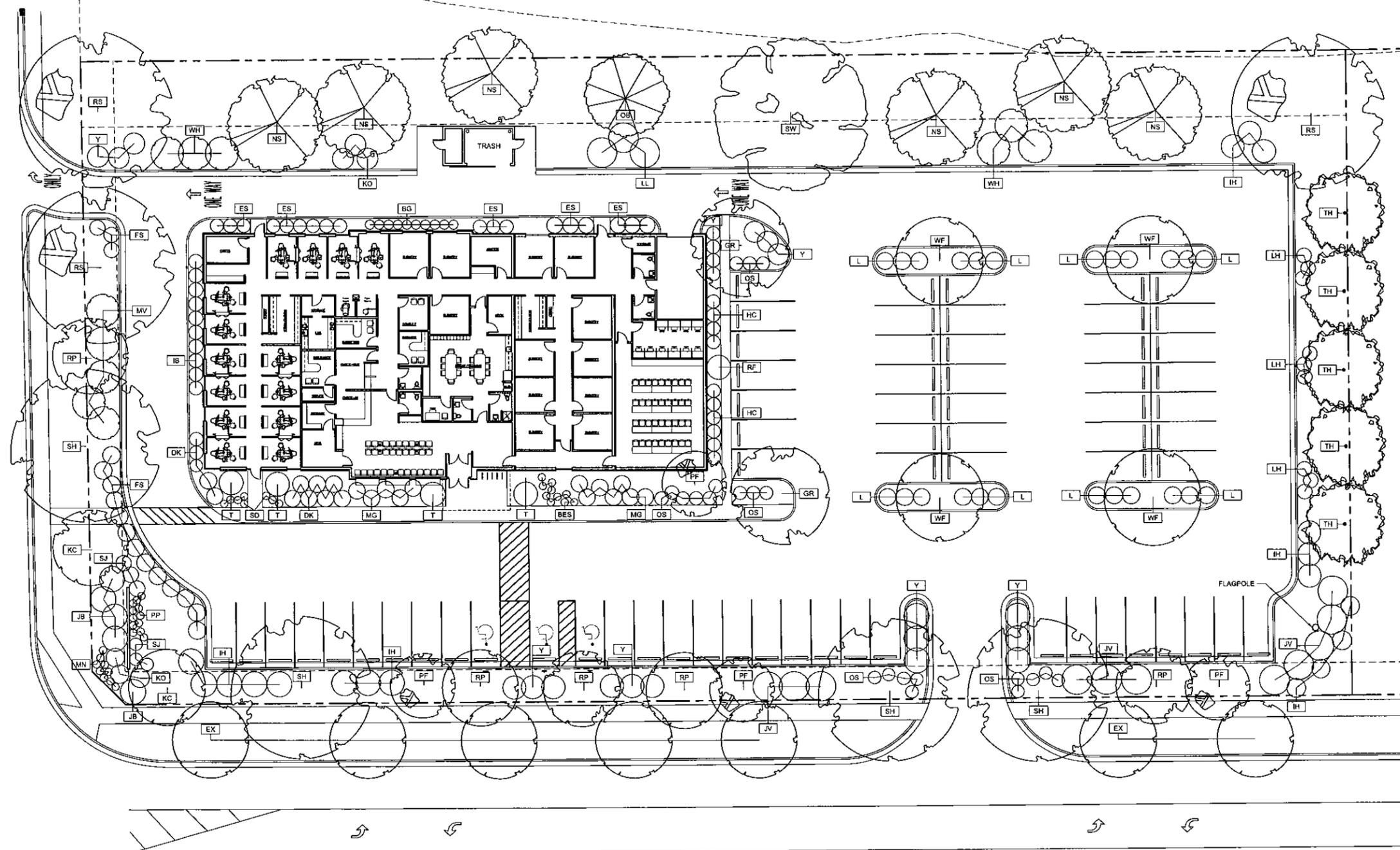
1 PHASE 2 LANDSCAPE PLAN
SCALE: 1/16"=1'-0"

PLANT SCHEDULE							
TREE	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL	
SW	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5"	1	25	25	
SH	GLEDITSIA TRIACANTHOS	SKYLINE HONEY LOCUST	2.5"	5	25	125	
RS	ACER RUBRUM	RED SUNSET MAPLE	2.5"	3	25	75	
RP	QUERCUS X BICOLOR	REGAL PRINCE OAK	2.5"	5	25	125	
TH	CRATAEGUS CRUGGALLI	THORNLESS COCKSPUR HAWTHORN	2.5"	5	15	75	
GR	KOOLEURIA PANICULATA	GOLDEN RAIN TREE	2.5"	2	15	30	
SB	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	6-7' CL.	1	10	10	
KC	PRUNUS SERRULATA	KWANZAN CHERRY	2.5"	2	15	30	
PF	MALUS X	PRAIRIE FIRE CRABAPPLE	2.5"	4	10	40	
NS	PICEA ABIES	NORWAY SPRUCE	6-7'	6	25	150	
OB	PIEA PUNGENS	ONTARIO BLUE SPRUCE	6-7'	1	15	15	
WF	NYSSA SYLVATICA	WILDFIRE BLACK GUM	2.5"	4	25	100	
RF	CERCIS CANADENSIS	RUBY FALLS REDBUD	6'	1	10	10	
EX	PYRUS	EXISTING BRADFORD PEAR	N/A	6	15	90	

PLANT SCHEDULE							
SHRUBS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL	
L	SYRINGA MEYERI	DWARF KOREAN ULAC	18"	24	7.5	180	
Y	TAXUS X MEDIA	DENSE SPREADING YEWS	18"	15	7.5	112.5	
T	HYDRANGEA PANICULATA	LATE PANICLE HYDRANGEA	18"	5	7.5	37.5	
HC	CLETHRA ALNIFOLIA	HUMMINGBIRD SUMMERSWEET	18"	10	7.5	75	
MG	MISCANTHUS SINENSIS	DWARF MAIDEN GRASS	3 GAL	5	7.5	37.5	
DK	CARYOPTERIS X CLANDONENSIS	DARK KNIGHT CARYOPTERIS	3 GAL	12	7.5	90	
IB	ILEX GLABRA	SHAMROCK IN BERRY	18"	10	7.5	75	
ES	HYDRANGEA MACROPHYLLA	ENDLESS SUMMER HYDRANGEA	3 GAL	13	7.5	97.5	
KO	ROSA X KNOCK OUT	KNOCK OUT ROSE	3 GAL	8	7.5	60	
JB	JUNIPERUS SABINA	BUFFALO JUNIPER	3 GAL	5	7.5	37.5	
SJ	HYPERICUM FRONDOSUM	SUNBURST ST. JOHN SWORT	3 GAL	6	7.5	45	
MV	VIBURNUM LANTANA	LANTANA MOHICAN VIBURNUM	18"	5	7.5	37.5	
FS	RHUS AROMATICA	GRO-LOW FRAGRANT SWEETGUM	3 GAL	8	7.5	60	
LL	HYDRANGEA PANICULATA	LIMELIGHT HYDRANGEA	18"	6	7.5	45	

PLANT SCHEDULE								
SHRUBS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL		
JV	VIBURNUM X JUDDII	JUDD'S VIBURNUM	18"	10	7.5	75		
IH	CORNUS ALBA	IVORY HALO DOGWOOD	18"	16	7.5	120		
WH	MAMAMELIS VERNALIS	VERNAL WITCH HAZEL	18"	8	7.5	60		
LH	ITEA VIRGINICA	LITTLE HENRY SWEETSPICE	3 GAL	15	7.5	112.5		
OS	CHAENOMELES SPECIOSA	ORANGE STORM QUINCE	3 GAL	14	7.5	105		
PERENNIALS								
BG	HOSTA SIEBOLDIANA	BLUE GIANT HOSTA	1 GAL	10				
SD	LEUCANTHEMUM X SUPERRA	BECKY SHASTA DAISY	1 GAL	8				
PP	HEUCHERA	PLUM PUDDING CORAL BELLS	1 GAL	12				
MN	SALVIA NEMEROSA	MAY NIGHT SALVIA	1 GAL	10				
BES	RUDBECKIA FULGIDA	GOLDSTURM BLACK-EYED SUSAN	1 GAL	25				
KWS	ASTILBE CHINENSIS	VISIONS IN PINK ASTILBE	1 GAL	7				
ANNUALS								
FLO	PETUNIAS, GERANIUMS, BEGONIAS, VERBENA, DUSTY MILLER, COLEUS							

AWS Properties
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1 PHASE 3 LANDSCAPE PLAN
SCALE: 1/16"=1'-0"

TREE	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
SW	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5"	1	25	25
SH	GLEDITSIA TRIACANTHOS	SKYLINE HONEY LOCUST	2.5"	5	25	125
RS	ACER RUBRUM	RED SUNSET MAPLE	2.5"	3	25	75
RP	QUERCUS X BICOLOR	REGAL PRINCE OAK	2.5"	5	25	125
IH	CRATAEGUS CRUSGALII	THORNLESS COCKSPUR Hawthorn	2.5"	5	15	75
GR	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	2.5"	2	15	30
SB	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	6-7 CL.	1	10	10
KC	PRUNUS SERRULATA	KWANZAN CHERRY	2.5"	2	15	30
PF	MALUS X	PRAIRIEFIRE CRABAPPLE	2.5"	4	10	40
NS	PICEA ABIES	NORWAY SPRUCE	6-7	6	25	150
OB	PIEA PUNGENS	ONTARIO BLUE SPRUCE	6-7	1	15	15
WF	NYSSA SYLVATICA	WILDFIRE BLACK GUM	2.5"	4	25	100
RF	CERCIS CANADENSIS	RUBY FALLS REDBUD	6"	1	10	10
EX	PYRUS	EXISTING BRADFORD PEAR	N/A	6	15	90

SHRUBS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
L	SYRINGA MEYERI	DWARF KOREAN LILAC	18"	24	7.5	180
Y	TAXUS X MEDIA	DENSE SPREADING YEW	18"	15	7.5	112.5
T	HYDRANGEA PANICULATA	LATE PANICLE HYDRANGEA	18"	5	7.5	37.5
HC	CLETHRA ALNIFOLIA	HUMMINGBIRD SUMMERSWEET	18"	10	7.5	75
MG	MISCANTHUS SINENSIS	DWARF MAIDEN GRASS	3 GAL	5	7.5	37.5
DK	CARYOPTERIS X CLANDONENSIS	DARK KNIGHT CARYOPTERIS	3 GAL	12	7.5	90
IB	ILEX GLABRA	SHAMROCK INKBERRY	18"	10	7.5	75
ES	HYDRANGEA MACROPHYLLA	ENDLESS SUMMER HYDRANGEA	3 GAL	13	7.5	97.5
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SJ	HYPERICUM FRONDOSUM	SUNBURST ST. JOHNSWORT	3 GAL	6	7.5	45
MV	VIBURNUM LANTANA	LANTANA MOHICAN VIBURNUM	18"	5	7.5	37.5
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LL	HYDRANGEA PANICULATA	LIMELIGHT HYDRANGEA	18"	6	7.5	45

SHRUBS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
JV	VIBURNUM X JUDDII	JUDD'S VIBURNUM	18"	10	7.5	75
IH	CORNUS ALBA	IVORY HALO DOGWOOD	18"	16	7.5	120
WH	HAMAMELIS VERNALIS	VERNAL WITCH HAZEL	18"	8	7.5	60
LH	ITEA VIRGINICA	LITTLE HENRY SWEETSPICE	3 GAL	15	7.5	112.5
OS	CHAENOMELES SPECIOSA	ORANGE STORM QUINCE	3 GAL	14	7.5	105

PERENNIALS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
BG	HOSTA SEROTIANA	BLUE GIANT HOSTA	1 GAL	10		
SD	LEUCANTHEMUM X SUPREMA	BECKY SHASTA DAISY	1 GAL	8		
PP	HEUCHERA	PLUM PUDDING CORAL BELLS	1 GAL	12		
MN	SALVIA NEMEROSA	MAY NIGHT SALVIA	1 GAL	10		
BES	RUDBECKIA FULGIDA	GOLDSTORM BLACK-EYED SUSAN	1 GAL	25		
KWS	ASTILBE CHINENSIS	VISIONS IN PINK ASTILBE	1 GAL	7		

ANNUALS	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
FLO	PETUNIAS, GERANIUMS, BEGONIAS, VERBENA, DUSTY MILLER, COLEUS					

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