



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (July 10, 2013 Meeting)

Docket No. / Project Title: PP-13-05 (Poplar Woods Major Subdivision Preliminary Plat)
Staff: Thom Weintraut
Applicant: F.C.Tucker/Scott Lynch Group
Property Size: 24.63 Acres
Current Zoning: RT (Residential: Two-Family)
Location: West side of Talley Road 460 feet north of 25th Street, in the City of Columbus

Background Summary:

The applicant has indicated that the proposed subdivision is for the purpose of creating 73 lots and 2 Common Areas totaling 24.63 acres. The applicant is requesting two modifications from Section 16.24.030(F)(1) of the Subdivision Control Ordinance to allow the maximum length of a dead end street to extend beyond 150 ft. In addition the applicant is also requesting a modification from Section 16.24.160(C) of the Subdivision Control Ordinance for relief from the requirement that the width to depth ratio not exceed a 3 to 1 ratio for lots 14, 15, 19 thru 22, 62, 63, 65, and 66.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application:

1. Will allowing a temporary dead end of Poplar Woods Lane to extend temporarily beyond 150 feet from its intersection with Victory Drive as part of a phasing plan create any issues?
2. Will allowing a temporary dead end of Poplar Woods Lane to extend beyond 150 feet from its intersection with Lauren Lane create any issues?
3. Should the three to one lot depth to width ratio requirement be upheld?
4. Should consideration be made regarding the potential for flooding to occur on a portion of this property where the Flood Risk Management Plan has identified as being inundated by up to 2 feet of water in a 100-year flood event?

Preliminary Staff Recommendation:

Approval of the Subdivision and the following modification requests:

1. The request for a modification of the requirements of Section 16.24.030(F)(1) of the Subdivision Control Ordinance to allow the length of a temporary dead end street to be approximately 270 feet in length and thereby exceeding the maximum permitted length by approximately 120 feet during the period between the construction of Phase 1 and Phase 2 of the Poplar Woods Major Subdivision.
2. The request for a modification of the requirements of Section 16.24.030(F)(1) of the Subdivision Control Ordinance to allow the length of a temporary dead end street to be approximately 270 feet in length and thereby exceeding the maximum permitted length by approximately 120 feet.
3. The request for a modification of the requirements of Section 16.24.160(C) of the Subdivision Control Ordinance to allow the width to depth ratio to exceed the maximum of 3 to 1 for lots 14, 15, 19 thru 22, 62, 63, 65, and 66.

- Further study should be done to determine if there is an effective mitigation strategy for flooding on portions of the property shown as being inundated by a 100-year flood event as shown on the 100-Year Flood Depth Map for Sloan Branch in the Flood Risk Management Plan.

Plan Commission Options:

In reviewing a request for *major subdivision approval*, the Plan Commission shall (1) approve the request if the proposal meets the minimum standards of the Subdivision Control Ordinance, (2) deny the request if the minimum standards of the Ordinance are not met and appropriate modifications are not obtained, or (3) continue the request to gather further information or otherwise as provided by the Plan Commission Rules of Procedure (per Subdivision Control Ordinance Section 16.40.050).

Modification Decision Criteria:

Indiana law and Columbus Subdivision Control Ordinance Section 16.40.050 require that the Plan Commission approve all subdivisions which meet the applicable requirements. Section 16.32.020 of the Subdivision Control Ordinance indicates that the Plan Commission may grant a modification of the requirements of the Ordinance upon the determination that each of the following is true:

- The modification will not be detrimental to the public, health, safety, and general welfare.
- Adjacent property will not be adversely affected.
- The modification is justified because of exceptional topographic or other physical conditions unique to the property involved, as opposed to mere inconvenience or financial disadvantage.
- The modification is consistent with the intent of the Zoning Ordinance, other applicable ordinances, and the Comprehensive Plan.
- The condition necessitating the modification was not created by the owner or applicant.
- The modification will not conflict with the requirements of the Zoning Ordinance including but not limited to lot area, lot frontage, lot width, and setback(s).

Outstanding Technical Comments:

The following outstanding technical comments must be addressed by the applicant: The Talley Road improvement plan should have Bike Path labeled as Bike Lanes.

Current Property Information (entire subdivision site):	
Land Use:	Undeveloped open field.
Site Features:	Meadow and woods.
Flood Hazards:	No regulatory floodplain.
Special Circumstances: (Airport Hazard Area, Wellfield Protection Area, etc.)	None.
Vehicle Access:	The property will gain access from Talley Road (Minor Arterial, Suburban, Residential) and Yellowwood Drive (Local, Suburban, Residential).

Surrounding Zoning and Land Use (entire subdivision site):		
	Zoning:	Land Use:
North:	RT (Residential: Two-Family)	Single and two-family residential and undeveloped.
South:	CC (Commercial: Community Center)	Office and retail.
East:	RT (Residential: Two-Family) AP (Agriculture: Preferred)	Single-family residential.
West:	RS4 (Residential: Single-Family 4)	Single-family residential.

Interdepartmental Review:	
City Engineering:	All comments have been addressed.
City Utilities:	No comments provided.
Parks Department:	No comments provided.
MPO:	No comments provided.

History of this Application:

The relevant history of this application includes the following: This application was reviewed at the June 20, 2013 Subdivision Review Committee meeting for technical comments and forwarded to the July Plan Commission meeting for approval.

Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. The proposed subdivision will be built in 2 separate phases. The first phase of development shows the construction of Poplar Woods Lane to include the development of 3 lots north of Victory Drive. This portion of street extends beyond the 150 feet maximum allowed by Section 16.24.030(F)(1) of the Subdivision Control Ordinance. The Phase Plan was determined based upon the topography to installation of Sanitary Sewer. The Phase I lots can all be developed using a gravity system for sanitary sewer. The lots in Phase II will require the installation of a lift station to provide sewer service. This time period for the temporary dead end street could be dependent on the development period for Phase I.
2. This request for the longer dead end section of Poplar Woods Lane north of Lauren Lane is an effort to provide a future connection to an infill parcel directly to the north of this parcel. The property to the north is approximately 12 acres and only has access to Talley Road. The extension of Poplar Woods Lane to the north property will provide a second access point for that northern property and a connection to the residential neighborhoods to the west. The length of the dead end will be approximately 270 feet or 120 feet longer than allowed under Section 16.24.030(F)(1) of the Subdivision Control Ordinance.

3. The reasoning for the 150 foot maximum distance for a dead-end street is to avoid a long section of street where emergency vehicles and visitors to the area may have difficulty in maneuvering to turn around and exit out of the dead end street.
4. The proposed subdivision site is an infill site with development on the North, South and West sides of the property and in order for the petitioner to accommodate the street connection and provide suitable building sites the lot configuration for Lots 14 and 15 results in depth to width ratio that exceeds three to one. In addition, Lots 19 thru 22 and 62, 63, 65, and 66 which are located on a cul-de-sac also exceed the 3 to 1 depth to width ratios. It is not uncommon for lots on the "bulb" of a cul-de-sac to exceed the 3 to 1 ratio because of the smaller frontage available on the bulb of a cul-de-sac. The purpose of the 3 to 1 ratio is to help to provide orderly development that keeps lot sizes in scale with the surrounding residential lots.
5. The parcel of land where the subdivision is proposed is not located in a mapped 100-year floodplain, however the Flood Risk Management Plan completed in May of 2013, shows an area of this property that currently would be covered with up to 2 feet of water in a 100-year flood event.

Subdivision Control Ordinance Consideration(s):

The following provisions of the Subdivision Control Ordinance apply to the key issues of this application:

1. Section 16.24.030(F) of the Subdivision Control Ordinance states that permanent dead-end streets shall not be permitted. Temporary dead end streets ("stub streets") may be permitted only as part of a continuing street plan and as required by Section 16.24.030(E) of the Subdivision Control Ordinance requirement for neighborhood connectivity. In cases where a temporary dead end street is permitted or required as part of a continuing street plan, the street shall be constructed according to the standards of this ordinance.
 1. The maximum length of a temporary dead end shall be 150 feet.
 2. A public notice sign shall be installed and maintained at the end of all temporary dead end streets which contains the announcement that the street will be a future connection and provide the name and number for the City Engineer's office.
2. Section 16.24.160(C) of the Subdivision Control Ordinance requires the depth to width ratio of any single-family residential lot not be greater than three to one.

SHEET INDEX

- 1 TITLE SHEET
- 2 PRELIMINARY PLAT
- 3 TOPOGRAPHIC MAP
- 4 DRAINAGE & STREET PLAN
- 5 SANITARY SEWER & WATER PLAN
- 6 SIDEWALK PLAN
- 7 LANDSCAPE PLAN
- 8 DETAIL SHEET

POPLAR WOODS MAJOR SUBDIVISION (PRELIMINARY PLANS)

PROPERTY DESCRIPTION
24.63 ACRES IN THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 9 NORTH, RANGE 6 EAST, AS DESCRIBED IN INSTRUMENT #201300001319 AND INSTRUMENT #200800000233 IN THE OFFICE OF THE RECORDER OF BARTHOLOMEW COUNTY, INDIANA.

(SECTION 16, TOWNSHIP 9 NORTH, RANGE 6 EAST)

PRIMARY APPROVAL

UNDER AUTHORITY PROVIDED BY IC 36-7-4-700, SUBDIVISION CONTROL, AND ANY AMENDMENTS THERETO, THIS PLAT WAS GIVEN PRIMARY APPROVAL BY THE CITY OF COLUMBUS, INDIANA, AS FOLLOWS:

APPROVED BY THE CITY PLAN COMMISSION AT A MEETING HELD _____, 20____

PRESIDENT - BRYAN HAZA

SECRETARY - DAVID L. HAYWARD

VOID UNLESS SECONDARY APPROVAL IS RECEIVED BY _____, 20____

I, JONATHAN M. ISAACS, HEREBY CERTIFY THAT I AM A PROFESSIONAL SURVEYOR, LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, THIS DRAWING CORRECTLY REPRESENTS A SURVEY COMPLETED BY ME IN JUNE OF 2013; THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST OR WILL BE INSTALLED. FURTHERMORE, I AFFIRM UNDER PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

JONATHAN M. ISAACS, P.L.S. LS-20200015 DATE _____

OWNER

MARY DAVEE, LLC.
P.O. BOX 212
MADISON, INDIANA 47250

DEVELOPER

F.C. TUCKER / SCOTT LYNCH GROUP
430 WASHINGTON STREET
COLUMBUS, INDIANA 47201

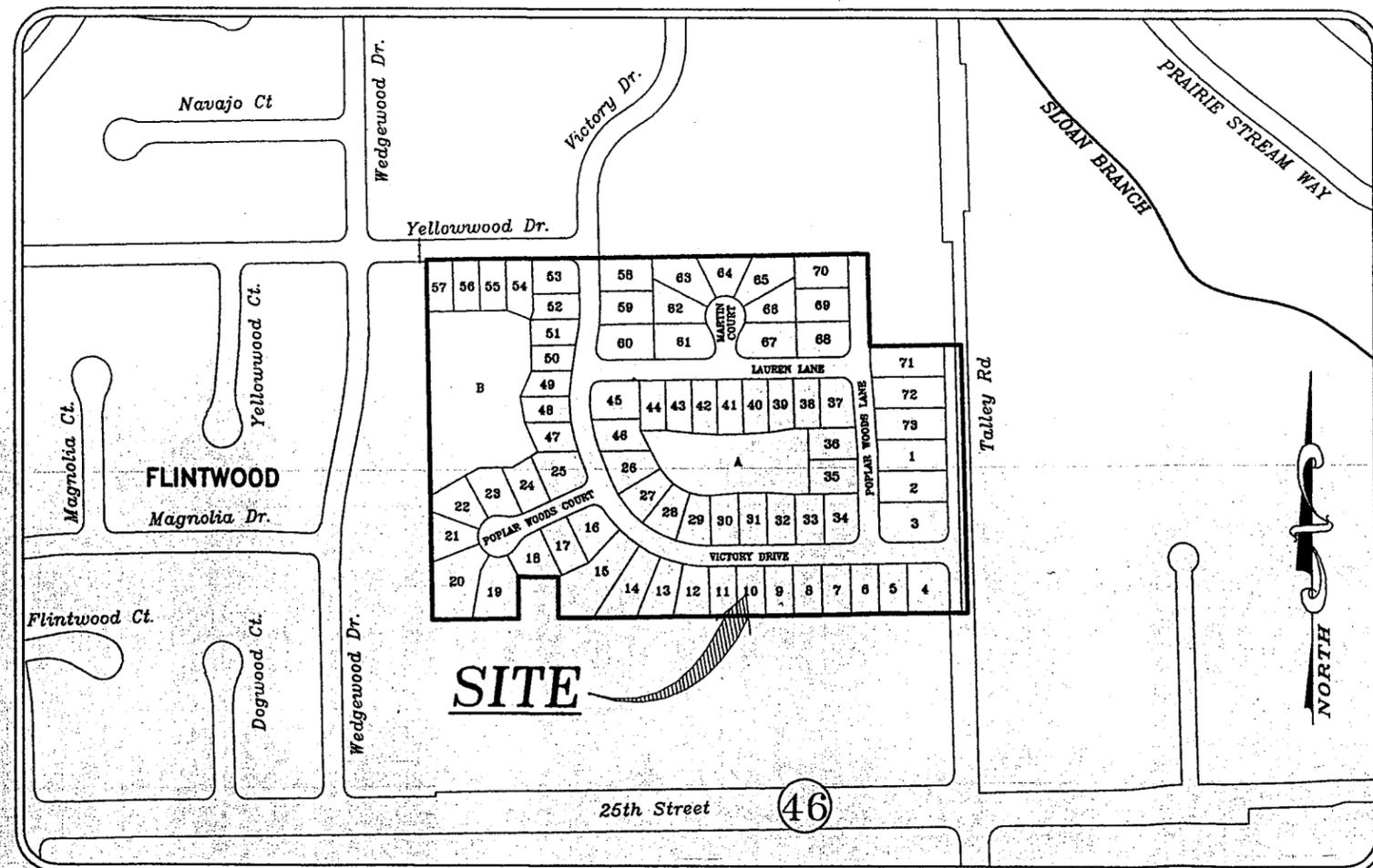


BARTHOLOMEW COUNTY
INDIANA



JOB #06159

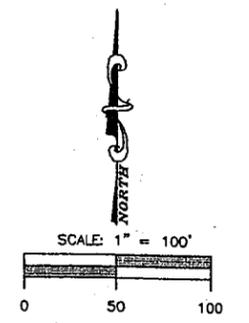
POPLAR WOODS MAJOR SUBDIVISION PRELIMINARY PLANS SEC. 16, T-9-N-R-6-E BARTHOLOMEW COUNTY, INDIANA		Independent Land Surveying www.ilsurveying.com 414 South Main Street Bloomington, Indiana 47220 Phone: 812-358-7882 Fax: 812-358-2805 3640 Commerce Drive Columbus, Indiana 47201 Phone: 812-372-0998 Fax: 812-372-0998
SHEET: 1/8 SCALE: 1" = 8125' DRAWN BY: bms DATE: 8/8/13 DWG NAME: 13069_PRELIM_TITLE.dwg	DWG REVISION DATES	



SITE MAP

101111 WOODS
**MAJOR SUBDIVISION
(PRELIMINARY PLAT)**

FRONT YARD BUILDING SETBACK
10' FOR PRIMARY STRUCTURE AND
25' FOR ANY GARAGE WITH A VEHICLE
ENTRANCE FACING THE STREET.



ACREAGE TABLE

LOTS 1 THRU 73	16.59 Ac.
COMMON AREAS A & B	3.44 Ac.
DEDICATED RIGHT-OF-WAY	4.60 Ac.
TOTAL	24.63 Ac.

LEGEND

▲	SECTION CORNER
●	FOUND MONUMENT
(R)	RECORD DIMENSION
D	DRAINAGE
U	UTILITY
P	PEDESTRIAN
L	LANDSCAPING
S	SIGN
A	ACCESS
—	NO ACCESS
▲	CURRENT ZONING
—	PROPOSED PHASE LINE

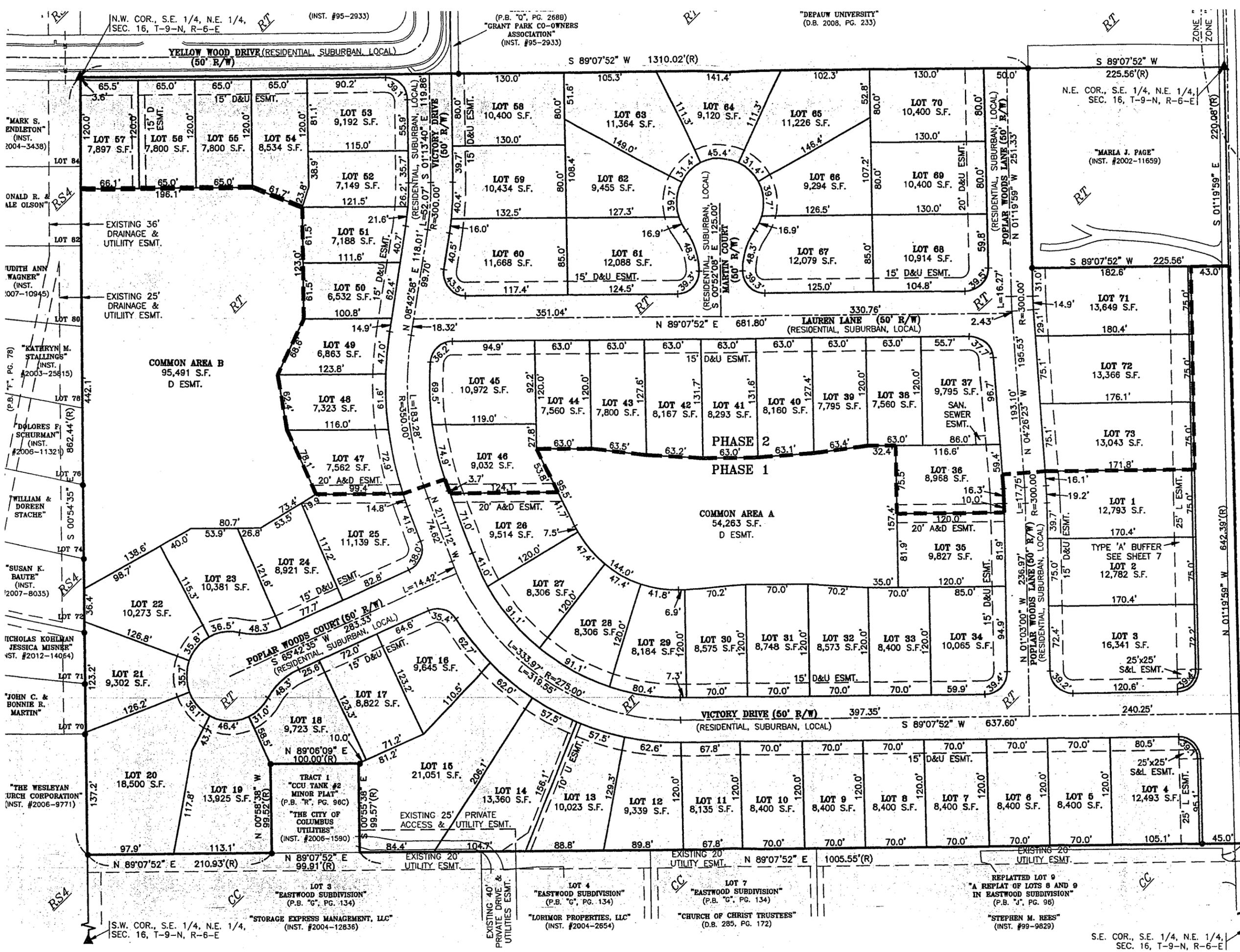
- NOTES:**
- 1) SUBJECT PROPERTY IS ZONED "RT" PER THE CITY OF COLUMBUS ZONING ORDINANCE OF CURRENT ADOPTION.
 - 2) SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" PER FEMA FLOOD MAP NUMBER 180007 0020 D, DATED FEBRUARY 19, 1997.

POPULAR WOODS MAJOR SUBDIVISION PRELIMINARY PLAT
SEC. 16, T-9-N, R-6-E
BARTHOLOMEW COUNTY, INDIANA

Independent Land Surveying
www.ksurveying.com
414 South Main Street
Brownsburg, Indiana 47220
Phone: 812-358-2852
Fax: 812-358-2853

SHEET: **2/8** SCALE: 1" = 100'
DWN BY: BAS
DWO DATE: 8/2/13
DWO NAME: 13082_PRELIM_PLAT.dwg

3940 Commerce Drive
Columbus, Indiana 47201
Phone: 812-372-0996
Fax: 812-372-8160



N.W. COR., S.E. 1/4, N.E. 1/4,
SEC. 16, T-9-N, R-6-E

(P.B. "Q", PG. 268B)
"GRANT PARK CO-OWNERS
ASSOCIATION"
(INST. #95-2933)

"DEPAUL UNIVERSITY"
(D.B. 2008, PG. 233)

YELLOW WOOD DRIVE (RESIDENTIAL, SUBURBAN, LOCAL)
(50' R/W)

S 89°07'52" W 1310.02'(R)

S 89°07'52" W 225.56'(R)

COMMON AREA B
95,491 S.F.
D ESMT.

COMMON AREA A
54,263 S.F.
D ESMT.

PHASE 2

PHASE 1

POPULAR WOODS COURT (60' R/W)
(RESIDENTIAL, SUBURBAN, LOCAL)

VICTORY DRIVE (60' R/W)
(RESIDENTIAL, SUBURBAN, LOCAL)

LAUREN LANE (60' R/W)
(RESIDENTIAL, SUBURBAN, LOCAL)

POPULAR WOODS LANE (60' R/W)
(RESIDENTIAL, SUBURBAN, LOCAL)

LOT 3 "EASTWOOD SUBDIVISION"
(P.B. "G", PG. 134)

LOT 4 "EASTWOOD SUBDIVISION"
(P.B. "G", PG. 134)

LOT 7 "EASTWOOD SUBDIVISION"
(P.B. "G", PG. 134)

REPLATED LOT 9 "A REPEAT OF LOTS 8 AND 9 IN EASTWOOD SUBDIVISION"
(P.B. "J", PG. 96)

"STORAGE EXPRESS MANAGEMENT, LLC"
(INST. #2004-12836)

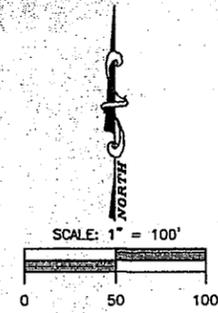
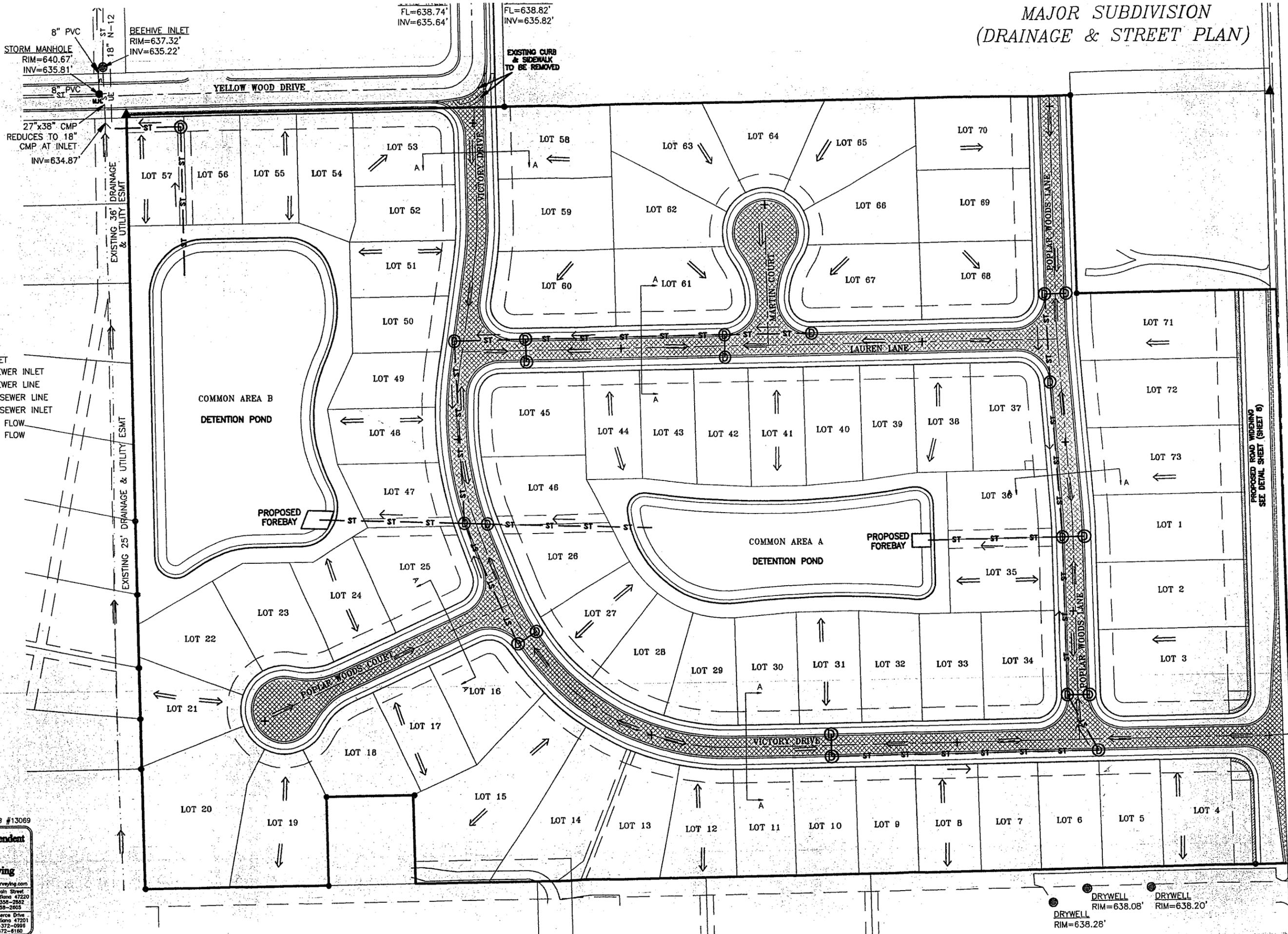
"LORIMOR PROPERTIES, LLC"
(INST. #2004-2654)

"CHURCH OF CHRIST TRUSTEES"
(D.B. 285, PG. 172)

"STEPHEN M. REES"
(INST. #99-9829)

S.E. COR., S.E. 1/4, N.E. 1/4,
SEC. 16, T-9-N, R-6-E

MAJOR SUBDIVISION
(DRAINAGE & STREET PLAN)



- LEGEND**
- ⊕ EXISTING CURB INLET
 - ⊙ EXISTING STORM SEWER INLET
 - ST — EXISTING STORM SEWER LINE
 - - - ST - - - PROPOSED STORM SEWER LINE
 - ⊕ PROPOSED STORM SEWER INLET
 - SURFACE DRAINAGE FLOW
 - ⇄ DIRECTION OF PIPE FLOW
 - ▨ PAVEMENT

NOTE:
SEE DETAIL SHEET
(SHEET B) FOR TYPICAL
STREET CROSS-SECTIONS

JOB #13069

**POPULAR WOODS
MAJOR SUBDIVISION
DRAINAGE & STREET PLAN**
SEC. 16, T-9-N, R-8-E
BARTHOLOMEW COUNTY,
INDIANA

**Independent
Land
Surveying**
www.itsurveying.com

414 South Main Street
Bloomington, Indiana 47203
Phone: 812-338-2662
Fax: 812-338-2665

3640 Commerce Drive
Columbus, Indiana 47201
Phone: 812-372-0996
Fax: 812-372-8160

DATE: 6/9/13
NAME: 13069_PRELIM_STREET&DRAINING

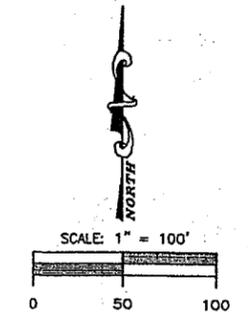
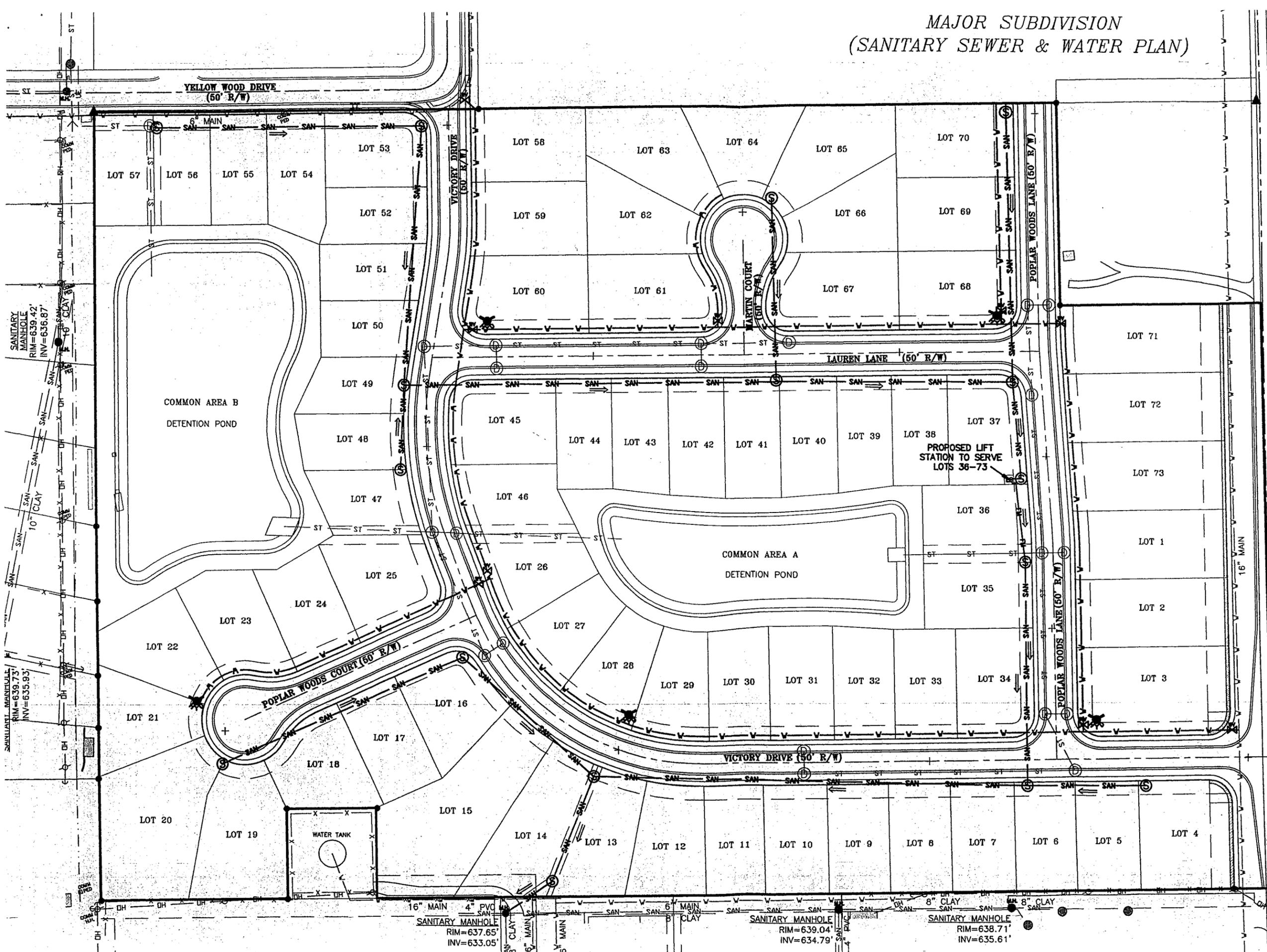
DRYWELL
RIM=638.08'
RIM=638.28'

DRYWELL
RIM=638.20'

PROPOSED ROAD WIDENING
SEE DETAIL SHEET (SHEET B)

TALLEY ROAD

MAJOR SUBDIVISION
(SANITARY SEWER & WATER PLAN)



- SANITARY SEWER NOTES**
- 1) ALL SANITARY SEWERS ARE 8" PVC PIPE AT MINIMUM 0.4% GRADE.
 - 2) MINIMUM COVERAGE ON LATERAL TO BE 5' WHERE POSSIBLE.

- LEGEND**
- ⊙ (S) PROPOSED SANITARY SEWER MANHOLE
 - ⊙ (H) EXISTING SANITARY SEWER MANHOLE
 - SAN - PROPOSED SANITARY SEWER LINE
 - SAN - EXISTING SANITARY SEWER LINE
 - W - PROPOSED WATER LINE
 - W - EXISTING WATER LINE
 - ⊙ (H) PROPOSED FIRE HYDRANT
 - ⊙ (H) EXISTING FIRE HYDRANT
 - ST - STORM SEWER LINE
 - DIRECTION OF PIPE FLOW

NOTE:
1) SEE DETAIL SHEET (SHEET 8) FOR WATER MAIN NOTES.

JOB #13069

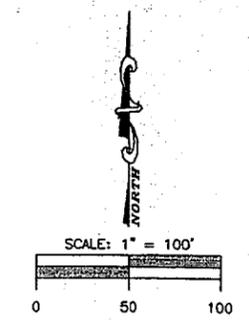
POPLAR WOODS MAJOR SUBDIVISION
SANITARY SEWER & WATER PLAN
SEC. 18, T-9-N, R-8-E BARTHOLOMEW COUNTY, INDIANA

Independent Land Surveying
www.independentsurveying.com
414 South Main Street
Brownsport, Indiana 47220
Phone: 812-358-2882
Fax: 812-358-2805
3540 Commerce Drive
Columbus, Indiana 47201
Phone: 812-372-0996
Fax: 812-372-6160

SHEET: **5/8** SCALE: 1" = 100'
DRAWN BY: BAS
DATE: 6/8/13
DWG NAME: 13069_PRELIM_SANSEWERPLAN.dwg

SANITARY MANHOLE RIM=637.65' INV=633.05'
SANITARY MANHOLE RIM=639.04' INV=634.79'
SANITARY MANHOLE RIM=638.71' INV=635.61'

POPLAR WOODS
 MAJOR SUBDIVISION
 (SIDEWALK PLAN)



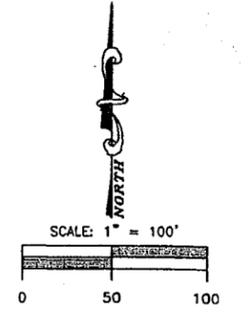
LEGEND
 PROPOSED CONCRETE SIDEWALK ADDITION
 ADA RAMP



JOB #13069

POPLAR WOODS MAJOR SUBDIVISION SIDEWALK PLAN SEC. 16, T-9-N, R-6-E BARTHOLOMEW COUNTY, INDIANA		Independent Land Surveying www.lasurveying.com 414 South Main Street Brownsburg, Indiana 47220 Phone: 812-358-2852 Fax: 812-358-2853
SHEET: 6/8 DRAWN BY: EAS DATE: 8/8/13 DWG NAME: 13069_PRELIM_SIDEWALK.dwg	SCALE: 1" = 100' DWG REVISION DATES: 3640 Commerces Drive Columbus, Indiana 47201 Phone: 812-372-0998 Fax: 812-372-8180	

POPLAR WOODS
MAJOR SUBDIVISION
(LANDSCAPE PLAN)



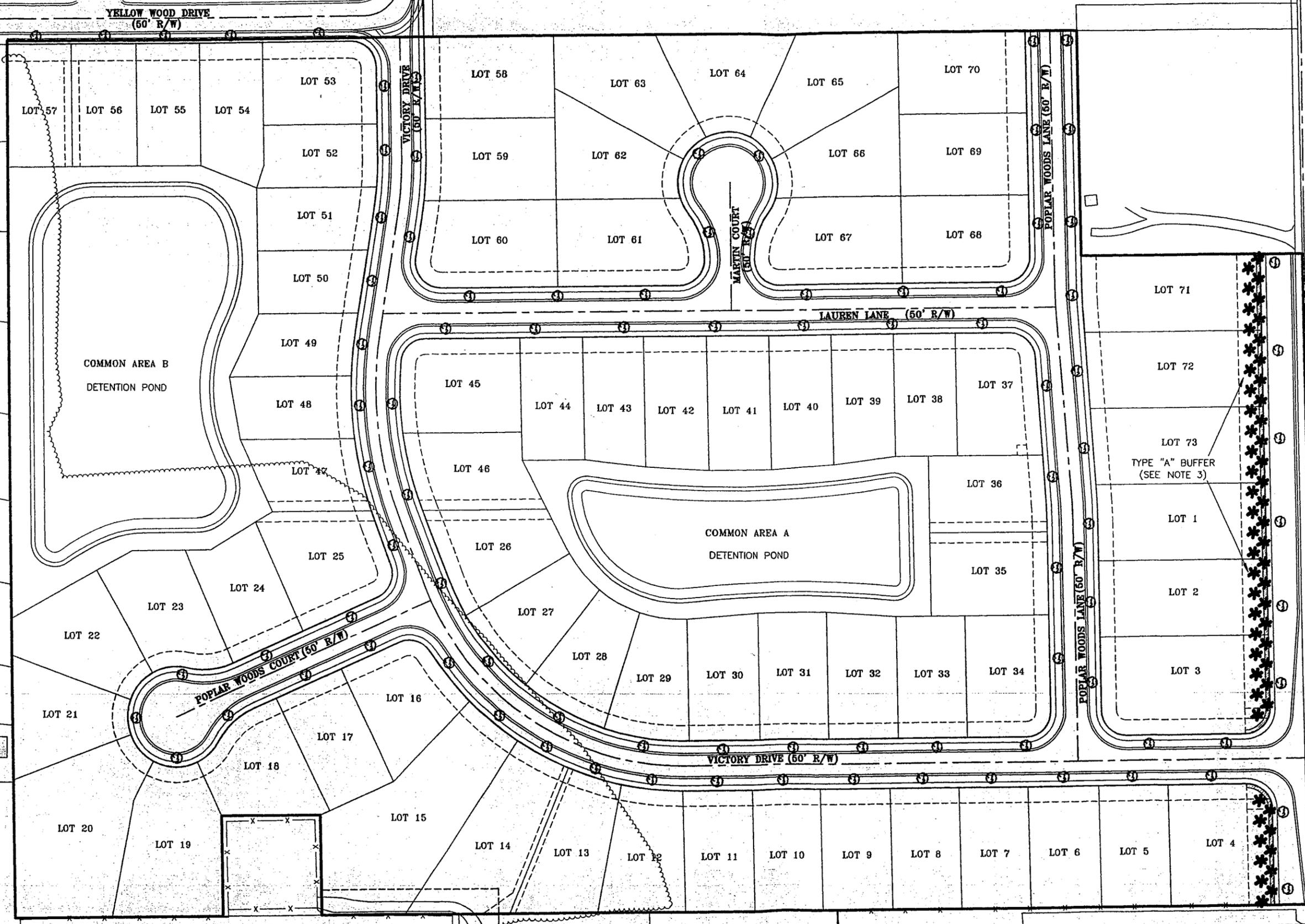
PLANT TYPE	TYPE	SIZE AT PLANTING
① GROUP #1 TREES PER SUBDIVISION CONTROL ORDINANCE	DECIDUOUS TREE	2.5" DIAM. @ 6" ABOVE ROOT BALL

GROUP 1 TREES

COMMON NAME
HEDGE MAPLE
SUGAR HACKBERRY
EUROPEAN HORNBEAM
AMERICAN YELLOWWOOD
GINKGO OR MAIDENHAIR TREE
GOLDEN-RAIN TREE
BLACK GUM
JAPANESE PAGODA OR CHINESE SCHOLAR TREE
LITTLELEAF LINDEN
CHINESE OR LACEBARK ELM
JAPANESE ZELKOVA

NOTE:

- 1) SEE DETAIL SHEET (SHEET 8) FOR TYPICAL INFRASTRUCTURE PLACEMENT DETAIL.
- 2) STREET TREES SHALL BE PLANTED WITH A SEPARATION OF NO LESS THAN 30 FEET AND NO MORE THAN 90 FEET
- 3) TREES AND/OR FENCE WITH LANDSCAPING WILL CREATE A TYPE "A" BUFFER ON THE DOUBLE FRONTAGE LOTS ALONG TALLEY ROAD AS REQUIRED PER 8.2(D) OF THE BARTHOLOMEW COUNTY ZONING ORDINANCE.



POPLAR WOODS
 MAJOR SUBDIVISION
 LANDSCAPE PLAN
 SEC. 16, T-9-N, R-6-E
 BARTHOLOMEW COUNTY,
 INDIANA

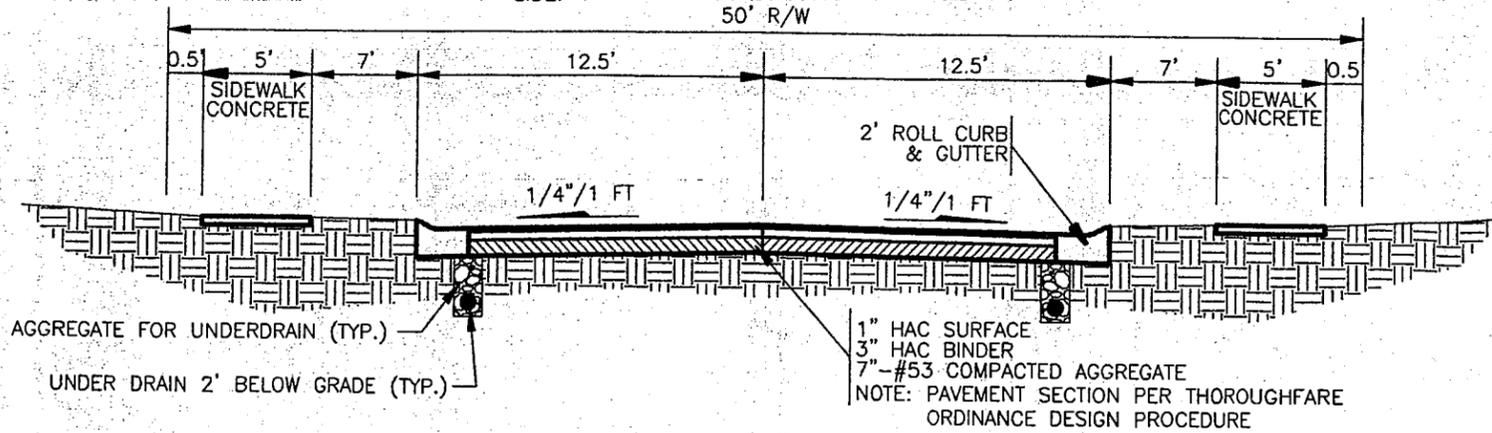
Independent Land Surveying
 www.itsurveying.com
 414 South Main Street
 Brownstown, Indiana 47220
 Phone: 812-358-2882
 Fax: 812-358-2805
 3640 Commerce Drive
 Columbus, Indiana 47201
 Phone: 812-372-0998
 Fax: 812-372-5180

SHEET: 7/8	SCALE: 1" = 100'
DRAWN BY: BMS	DWG REVISION DATES
DWG DATE: 8/9/13	
DWG NAME: 13049_PRELIM_LANDSCAPE.dwg	

JOB #13069

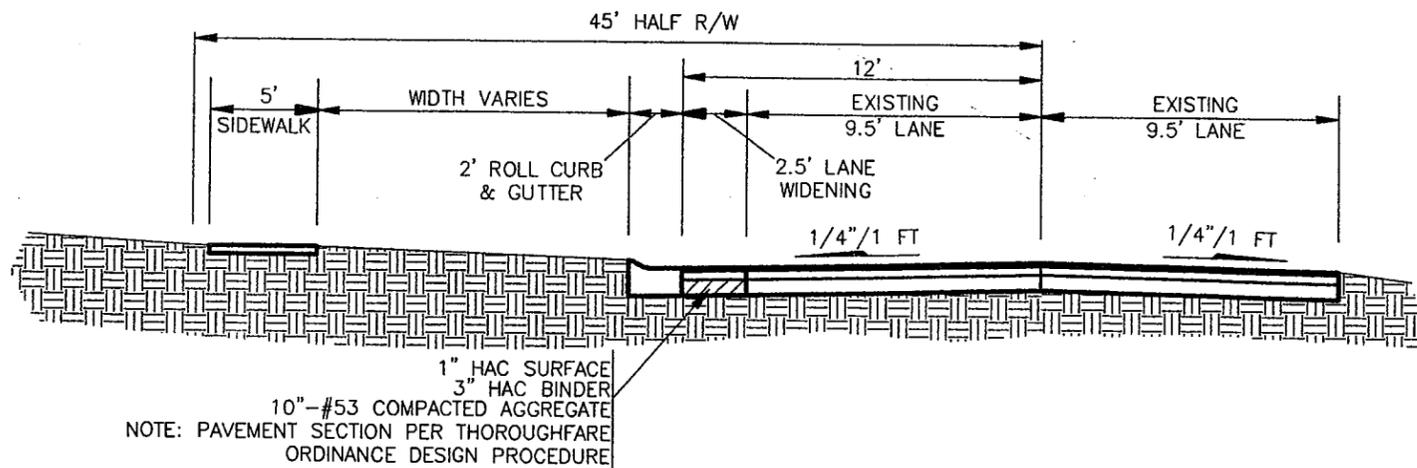
POPLAR WOODS
MAJOR SUBDIVISION
(DETAIL SHEET)

NOTE: THERE IS A 4 FOOT PARKING LANE ON ONE SIDE OF THE STREET. "NO PARKING" SIGNS WILL BE PROVIDED ON THE OPPOSITE SIDE.

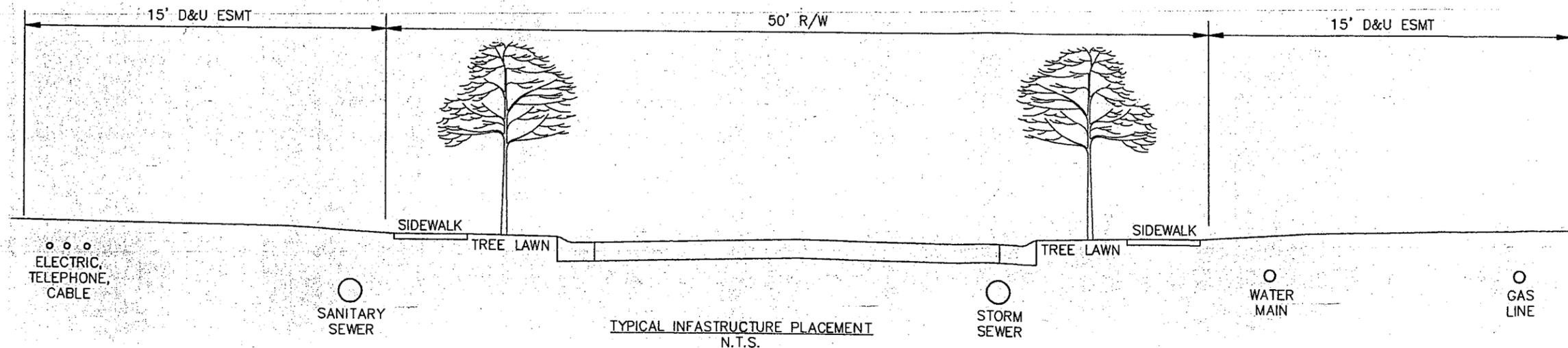


TYPICAL STREET CROSS SECTION A-A

NTS
MIN. STREET GRADE 0.5%
MAX. STREET GRADE 7.0%



TALLEY ROAD STREET IMPROVEMENT CROSS SECTION
NTS



WATER MAIN NOTES

- 1) ALL WATER MAINS SHALL BE DUCTILE IRON PIPE AND SHALL MEET AWWA SPEC C-151. THE WALL THICKNESS OF THE PIPE SHALL NOT BE LESS THAN CLASS 50. PIPE SHALL BE CEMENT LINED 3/32" MINIMUM THICKNESS AND BITUMINOUS COATED INSIDE AND OUT IN ACCORDANCE WITH AWWA SPEC C-104. PIPE SHALL BE SLIP JOINT AS MANUFACTURED BY U.S. PIPE, CLOW, AMERICAN PIPE, OR EQUAL.
- 2) DUCTILE IRON FITTINGS SHALL BE GRADED 80-60-03 IN ACCORDANCE WITH ASIM SPEC 339. FITTINGS SHALL BE LINED WITH A POLYAMINE CURED EPOXY OR CEMENT AND SHALL HAVE MECHANICAL JOINTS AS PER ASA SPEC A 21.11 OR SHALL HAVE PUSH-ON COMPRESSION TYPE JOINTS WITH RUBBER RING GASKETS.
- 3) ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER HANDBOOK OF THE COLUMBUS CITY UTILITIES DEPARTMENT.
- 4) WATER MAINS TO BECOME A PART OF AND BE MAINTAINED BY THE CITY OF COLUMBUS UTILITY CORPORATION SYSTEM UPON COMPLETION AND ACCEPTANCE BY THE UTILITY SERVICE BOARD.
- 5) INSPECTION SHALL BE PROVIDED BY ORWC A. JOHNSON P.E., OR ONE DESIGNATED BY HIM AND AND THE CITY OF COLUMBUS UTILITY DEPARTMENT.
- 6) SEWERS SHALL BE LAID AT LEAST 10 FEET, HORIZONTALLY, FROM ANY WATER MAIN. SHOULD CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN IF:
 - A. IT IS LAID IN A SEPARATE TRENCH.
 - B. IT IS LAID IN THE SAME TRENCH WITH THE WATER MAINS LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH.
 - C. IN EITHER CASE THE ELEVATION OF THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
- 7) WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE BURIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTION WITH SLIP-ON OR MECHANICAL-JOINT CAST-IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE OR PRESTRESSED CONCRETE CYLINDER PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- 8) ALL TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH OSHA RECOMMENDATIONS TO PERMIT SAFE WORKING.

JOB #13069

POPLAR WOODS MAJOR SUBDIVISION DETAIL SHEET SEC. 16, T-9-N, R-6-E BARTHOLOMEW COUNTY, INDIANA		Independent Land Surveying www.independentsurveying.com 414 South Main Street Brownsburg, Indiana 47220 Phone: 812-358-2882 Fax: 812-358-2805 3540 Commerce Drive Columbus, Indiana 47201 Phone: 812-372-0988 Fax: 812-372-6180
SHEET: 8/8	SCALE: 1" = 40.0'	
DRAWN BY: BAS	DWG REVISION DATES:	
DWG DATE: 6/9/13	DWG NAME: 13069_PRELIM_DETAIL.dwg	

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June 10, 2013

Columbus Plan Commission
Columbus City Hall
123 Washington Street
Columbus, Indiana 47201

In re: "Poplar Woods" residential subdivision

Dear Mr. President and Members of the Plan Commission:

On behalf of F.C. Tucker/Scott Lynch Group, I respectfully request that the Plan Commission grant modifications to the Subdivision Control Ordinance of the City of Columbus, Indiana that will allow the following:

- 1.) Section 16.24.160(C): requires the maximum width to depth ratio for lots not to exceed 3 to 1.

This request is being made for lots 14, 15, 19 thru 22, 62, 63, 65, and 66 that exceed this ratio. These lots are configured in a manner that best fits the area of land and the site geometry. Reducing these lot sizes, due to the width to depth ratio, would be an inefficient use of the land.

- 2.) Section 16.24.030(F)(1): sets the maximum length of a temporary dead end street at 150 feet.

This request proposes Poplar Woods Lane to end 270 feet from its intersection with Lauren Lane. The need for this added length is due to the placement of Lauren Lane being positioned in the most appropriate location, and also the desire/need to stub this street to the north property line for future development.

This request proposes Poplar Woods Lane to temporarily end 270.5 feet from its intersection with Victory Drive. The need for this added length is due to the phase line between Phases I and II being positioned in the most appropriate location. This location is at the separation of the sanitary gravity sewer for Phase I and the proposed lift station for Phase II. This street will be extended when phase two is constructed.

We appreciate your consideration in these matters.

Respectfully,

Jonathan M. Isaacs, PLS
Independent Land Surveying, Inc.