



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (February 12, 2025 Meeting)

Docket No. / Project Title: PUDF-2025-001 (Westwood Market)
Staff: Noah Pappas

Applicant: Westwood Petroleum LLC
Property Size: 2 Acres
Current Zoning: Westwood PUD (Planned Unit Development)
Location: 4325 Jonathan Moore Pike, in the City of Columbus

Request Summary:

Westwood Petroleum LLC is requesting approval for a Final PUD Plan for Lot 6 of the Westwood PUD. The proposal is for development of a fuel station (gas station and EV charging) and convenience store. The Preliminary PUD Plan (PUD-16-05) was originally approved in 1994 and last updated in January 2021; it provides the basic rules for development within the PUD boundary. The Final PUD Plan is a specific site plan for Lot 6. The Final PUD Plan must be consistent with the Preliminary PUD Plan and is otherwise subject to the discretion of the Plan Commission.

Key Issue Summary:

The following key issue(s) should be resolved through the consideration of this application:

1. Is the proposed Final PUD Plan consistent with the Preliminary PUD Plan?
2. Is the architectural design of the buildings suitable for this location and consistent with the overall design character and quality of the PUD? Is the existing vegetation along the eastern property line enough to adequately screen the adjacent residential neighbors in the Woodcrest Villas?
3. Should the existing street trees along State Road 46 be preserved?

Preliminary Staff Recommendation & Comments:

Continuance, to provide the applicant with additional time to revise the landscaping plan, propose appropriate additional eastside buffering, bring the proposed signs into compliance with the Preliminary PUD Plan, provide the gas canopy height and building materials, include plans for the required sidewalk extensions, indicate proposed seating capacity for the verification of adequate parking, and otherwise satisfy the recommended revisions listed below.

Any approval should include the following conditions:

1. The following additional and/or revised information shall be included on the Final PUD Plan drawings:
 - a. All drawings shall be titled as "Westwood Market Final PUD Plan", with any competing or inconsistent titles removed.
 - b. All drawings and materials shall be dated consistent with the date on which they were submitted, or resubmitted, to the Planning Department.

- c. The drawings shall include, on a cover sheet, an appropriate Plan Commission approval certificate as well as the necessary recording certificate(s).
 - d. All required Final PUD Plan materials, including but not limited to the site plan, structure renderings and elevations, lighting fixture information, and sign information shall be assembled as a single document, suitable for recording, and subject to the review and approval of the Planning Department. This shall exclude drawings documenting stormwater plans and others not a component of the Final PUD Plan.
 - e. Sheet C200, the Existing Site Conditions & Demolition Plan, shall include the following: (1) the State Road 46 Thoroughfare Plan street classification, (2) a label indicating the State Road 46 street trees as "to remain", (3) a label indicating all east property line vegetation as "to remain", (4) the correction of the shown 10-foot east property line building setback to the 70-foot setback required by the Preliminary PUD Plan, (5) the "no-access" easement along State Road 46 and its intersection with Westwood Boulevard established by the property's current subdivision plat, and (6) a Flood Hazard Statement with a corrected map date.
 - f. Sheet C300, the Site Plan, shall include the following: (1) the State Road 46 Thoroughfare Plan street classification, (2) a label indicating the State Road 46 street trees as "to remain", (3) a label indicating all east property line vegetation as "to remain", (4) the correction of the shown 10-foot east property line building setback to the 70-foot setback required by the Preliminary PUD Plan, (5) the "no-access" easement along State Road 46 and its intersection with Westwood Boulevard established by the property's current subdivision plat, (6) intersection sight visibility triangles consistent with Zoning Ordinance Section 7.3(Part 1)(D)(5), (7) separation distances measured from the centerlines of all existing and proposed drives on Westwood Boulevard, (8) the width of all proposed sidewalks, (9) the relocation of the sidewalk - convenience store pedestrian connection and bicycle rack to the area of the south drive, and (10) the relocation of that portion of the Westwood Drive sidewalk that is outside the public right-of-way or the provision of this sidewalk with additional dedicated right-of-way or an appropriate easement. Also, the proposed crosswalk across Westwood Boulevard shall be omitted.
 - g. A Site Plan supplement showing the public sidewalk to be constructed along the east side of Westwood Drive between this subject property and the Westwood Pines apartments.
 - h. Detailed information on the proposed vehicle charging stations, including the location and size of all chargers and supporting equipment, demonstrating compliance with Zoning Ordinance Section 7.1(Part 1)(E)(4).
 - i. A bicycle rack detail indicating the number of racks, separation between racks, and other information needed to verify compliance with Zoning Ordinance Section 7.1(Part 2)(C)(1 through 3).
 - j. Sheet C600, the Landscaping Plan, shall (1) include the intersection sight visibility triangles consistent with Zoning Ordinance Section 7.3(Part 1)(D)(5), (2) be revised to address the shortcomings in the needed amounts of plant materials as described in the table below (3) replace all proposed small trees with medium or large trees consistent with the zoning ordinance, (4) provide for all deciduous trees to be 2½ inch caliper and all evergreen trees to be 5 feet in height at the time of planting, (5) eliminate the use of the invasive variety of Burning Bush, (6) indicate the street trees along State Road 46 as to be retained, and (7) identify the plants proposed at the front of the convenience store.
2. The convenience store renderings shall be revised to be consistent with the site plan, specifically with regard to landscaping at the front of the building and the outdoor seating area.
 3. The convenience store elevation drawings shall be revised to be consistent with the site plan, specifically with regard to landscaping at the front of the building and the outdoor seating area. Also, the building's south façade materials shall be labeled and all roof-top mechanical equipment shall be shown and adequately screened from public view.
 4. An elevation drawing of the proposed gas station canopy shall be provided, with exterior materials labeled.
 5. The trash enclosure / shed elevation drawings shall be made consistent with the site plan and all exterior materials shall be labeled. Also, the mesh gate provided for the dumpster enclosure shall

be replaced with one of wood or vinyl that provides the 100% opacity specified by the Zoning Ordinance.

6. The maximum number of seats to be provided both inside and outside the convenience store shall be indicated, for the purpose of verifying adequate parking.
7. Both proposed freestanding signs shall be reduced in height, including their supports, to no more than 6 feet to comply with the specifications of the Preliminary PUD Plan.
8. Evergreen buffering, benefiting the residential neighborhood to the east, shall be provided along the east side of the parking lot.

Plan Commission Options:

In reviewing a request for a Final PUD Plan the Plan Commission may (1) approve the request, (2) deny the request, or (3) continue the review to the next Plan Commission meeting. The Plan Commission may request modifications to the proposed Final PUD Plan.

Decision Criteria:

When considering a request for final PUD approval the Plan Commission shall pay reasonable regard to the following:

1. The extent to which the proposal is consistent with the approved Preliminary Plan;
2. The extent to which the proposal fulfills the requirements and intent of Article 5 of the Zoning Ordinance; and
3. The Comprehensive Plan and any other applicable, adopted planning studies or reports.

Current Property Information:	
Land Use:	Vacant/Undeveloped
Site Features:	There is some existing vegetation along the State Road 46 frontage and along the eastern property line, otherwise there are no significant features on the property.
Flood Hazards:	None
Special Circumstances: (Airport Hazard Area, Wellfield Protection Area, etc.)	None
Vehicle Access:	Westwood Boulevard (Local, Suburban, Commercial)

Surrounding Zoning and Land Use:		
	Zoning:	Land Use:
North:	CR (Commercial: Regional)	Westhill Shopping Center
South:	Westwood Planned Unit Development (PUD)	Vacant/Undeveloped Westwood Pines Apartments

East:	Woodcrest Planned Unit Development (PUD)	Single-Family Attached Residential (Woodcrest Villas) Funeral Home
West:	Westwood Planned Unit Development (PUD)	CVS Dental Office, Dermatology Office, and Financial Planning Office

Interdepartmental Review:	
City Engineering:	<p>Comments on the revised plans:</p> <ul style="list-style-type: none"> - Engineering does not support the addition of the north driveway. This driveway is encroaching into the functional area of the traffic signal at SR46 and Westwood Blvd. This drive will have a negative impact on the function and safety of the signal. - Should the bike rack be located closer to the building? - The internal sidewalk from the Westwood Drive public sidewalk to the building should be relocated. In its current position a pedestrian has a long crosswalk with many conflict points. Consider placing the sidewalk along the south side of the south entrance. This will allow a pedestrian to make one crossing perpendicular to vehicular traffic. - Remove the mid-block crossing on Westwood Blvd. - A pedestrian easement or additional right of way will need to be dedicated any location the sidewalk is outside of the existing Right of Way. - The existing stormwater forebay in the shared detention area needs cleaned. - A stormwater permit will be required for this site. - An Improvement in the Right of Way permit (https://www.columbus.in.gov/engineering/improvement-in-the-right-of-way/) will be required for any sidewalk, curb, driveway entrance constructed in the Right of Way. - A Street Cut Permit (https://www.columbus.in.gov/engineering/forms/permit-to-excavate/) will be required for any excavations in the public Right of Way - A Special Use of Right of Way (https://www.columbus.in.gov/engineering/forms/request-for-special-use-of-right-of-way/) will be required for any lane restriction or street closure. - An INDOT permit will be required, please coordinate with INDOT on any permit requirements for work completed in State Right of Way.
City Utilities:	No response.
Fire Department:	I would like to ask the applicant to install a fire hydrant on the east side of Westwood somewhere in the proximity of the entrance to the site.

INDOT:	INDOT does not have any objections to the site plan and driveway access proposed. INDOT would require sidewalk from the driveway to SR 46 and then APS compliant pedestrian crossings on the east approach through the traffic signal. This site has been discussed before and basically the sidewalk on the NE quadrant of SR 46 and CR 325 W would need to be connected to this site with an accessible crossing over SR 46.
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Criterion / Status		Summary of Final PUD Proposal	Summary of Preliminary PUD Requirements	Summary of Comparative CR Zoning District Requirements
Permitted Uses:	✓	Gas station, EV charging station, and convenience store in the areas to the north and west of the detention easement.	All uses permitted in the RB and B-1 zoning districts in addition to corporate offices, motel with lounge and dining facilities, and restaurants with drive-up facilities, including fueling centers with convenience stores. Fueling centers with convenience stores are permitted only to that portion to the north and west of the detention easement. Additionally, this amendment specifically excludes fueling locations for semi-tractor trailers.	Section 3.21(A) Allows a gas station, an auto-oriented use (small scale), as a permitted use.
Lot Coverage:	✓	Total lot coverage on property as proposed is 9.22%.	At least 50% of the lot area shall be devoted to open space which shall include parking and landscaping.	Section 3.21(C) requires maximum lot coverage to be 75%.
Building Height Limit:		Convenience Store: 17 feet Fuel Canopy: not provided.	35 feet.	Section 3.21(C) no maximum height for primary structures.
Building Setbacks Required:	✓	Convenience Store: Front Yard Setback: 120 feet (North) 130 feet (West) Side Yard Setback: 192 feet (East) 40 feet (South) Fuel Canopy: Front Yard Setback: 45 feet (North) 98 feet (West)	A minimum of 70 foot setback from the eastern property line that adjoins an exterior residential property.	Section 3.21(C) requires a minimum 10 foot setback for all front, side, and rear yards with a 25 foot minimum front setback for any auto service bay, auto fuel canopy, or other similar vehicle access points to structures.

		Side Yard Setback: 166 feet (East) 148 feet (South)		
Drainage:	✓	A drainage plan has been submitted and is under review.	Preliminary drainage plan required.	Section 12.9(D)(2)(s) requires drainage plans for site development plans.
Architectural Review:		Convenience Store: A mixture of stone and brick, not all of which is clearly identified. Gas Canopy: A mixture of stone and brick columns, not all of which is clearly identified, with a gas company branded canopy.	Building design, colors, materials, etc. are subject to review by the Architectural Control Committee which will consist of members of "Westwood LLC" or those designated to act for them, before submission of the detailed site plan of each lot for Plan Commission approval.	None.
Parking Lot Setbacks Required:	✓	Front (SR 46) = 20 feet Front (Westwood) = 46 feet Side (East) = 113 feet Side (South) = 10 feet	None	Section 7.2(Part 4)(B)(1) Front Setback: All parking spaces and driveways shall maintain a minimum setback of 10 feet from the existing or planned right-of-way, whichever is greater, of all adjacent streets or roads. Section 7.2(Part 4)(B)(2) Side and Rear Setback: All parking spaces and driveways shall maintain a minimum setback of 5 feet from all adjacent side and rear property lines.
Parking:		Vehicle Spaces: 29 spaces provided, including 5 ADA spaces. Bicycle Spaces: Not detailed.	As set forth in Article XXV of the Zoning Ordinance (1995) and as further approved by the Plan Commission as part of the Final Detailed site plan for each lot. General Retail Uses: 1 space per 200 square feet of GFA (23 spaces minimum)	<u>Vehicle Spaces, Retail use:</u> 1 parking space for every 250 square feet of usable floor area. Total of 18 spaces required per Section 7.1(Table 7.2), two (2) of which need to be ADA accessible. <u>Bicycle Spaces:</u> 2

Driveway Separation:		<p>The proposed southern driveway aligns with the drive across the street and is separated from the nearest drive by greater than 100 feet.</p> <p>The proposed northern drive provides only 20 feet of separation from the CVS entrance across the street.</p>	None.	Section 7.3(Part 1)(3)(c)(iii): Local Streets require a minimum 100 feet of driveway separation.
Wheel Stops:	✓	Provided on all parking spaces.	None.	Section 7.2 (Part 4)(A)(5)(c): All required landscaped areas and required pedestrian walkways which are perpendicular to parked vehicles shall be protected with wheel stops located in each space to prevent vehicles from overhanging the landscaped area or walkway, subject to certain exceptions . All wheel stops shall be located two feet from the end of each parking space adjacent to the landscaped area or walkway.
Sidewalks:		Proposing sidewalk along the Westwood Boulevard street frontage.	<p>The sidewalks along the Westwood Drive frontage of the new Common Area "A" (located south of the subject property) shall be installed when specified by the Plan Commission during its Final PUD Plan review of any future Westwood Area "A" development.</p> <p>The sidewalk, under MP-2020-006, was delayed until development occurs on the new lot, and shall be installed along the frontage of all new lots in Area A.</p>	Section 7.3(Part 2)(A) All development in Multi-Family Residential, Commercial, Public/Semi-Public and Industrial zoning districts shall provide a public sidewalk in adjoining street and road right-of-way along the frontage of the property on which the development is occurring, consistent with the applicable Subdivision Control Ordinance requirement (Based on the classification of that street or road for the Columbus jurisdiction).

Sidewalks Linking Public Sidewalk to Building:	✓	There is a sidewalk proposed sidewalk connection to the building from the Westwood Boulevard Sidewalk.	None.	Section 7.3(Part 2)(B): A sidewalk that links any existing or new adjacent public sidewalk to the building is required. "New" sidewalks are those required to be installed with the same development project that would result in the sidewalk link. The linking sidewalk shall be a minimum of 5 feet in width. If the sidewalk link passes through a parking lot, pavement markings shall be used to delineate the sidewalk link.
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<p>Landscaping:</p>	<p><u>Parking Lot Street Frontage (Area #1):</u> SR 46 (250 feet): 7 small trees, 49 shrubs Westwood Blvd. (200 feet): 2 small trees, 14 shrubs</p> <p>The SR 46 Parking Lot Street Frontage landscaping is sharing space with a utility easement.</p> <p><u>Parking Lot Interior (Area #2):</u> <i>Island/Peninsula Area:</i> 930 total sq. ft. provided. <i>Plantings:</i> 3 small trees, 2 evergreen trees, 7 shrubs, and 8 grasses provided.</p> <p><u>Front Setback (Area #3):</u> None proposed</p> <p><u>Lot Interior (Area #4):</u> Total: 105 points (3 small trees, 10 shrubs, and 10 unidentified plantings)</p> <p>At the Building: 0 points (10 unidentified plantings)</p> <p><u>Free Standing Signs (Area #5)</u></p> <p><u>SR 46 Sign:</u> None</p> <p>Westwood Blvd. Sign: 4 grasses</p>	<p>Existing trees will be preserved wherever possible. Landscaping around parking and buildings as well as any buffer or screen planting will be shown on the detailed site plan for each lot as part of final approval.</p> <p>20 feet of the 70 foot required building setback from the eastern property line shall be appropriately screened with living plant material.</p>	<p>Section 8.1(C): <u>Parking Lot Street Frontage (Area #1):</u> SR 46 (250 feet): 5 large or 6 medium trees and 38 shrubs</p> <p>Westwood Blvd. (200 feet.): <i>4 large or 5 medium trees and 30 shrubs</i></p> <p><u>Parking Lot Interior (Area #2):</u> <i>Island/Peninsula Area:</i> 1,155 square feet minimum required <i>Plantings:</i> 4 large or medium trees 24 shrubs minimum required</p> <p><u>Front Setback (Area #3):</u> 63 landscape points along SR 46 at minimum required.</p> <p><u>Lot Interior (Area #4):</u> Minimum requirement of 148 points, 37 points required within 15 feet of the building foundation.</p> <p><u>Area #5 Free Standing Sign:</u> All permanent freestanding signs exceeding 6 feet in height shall have landscaping planted in an area radiating a minimum of 5 feet from the base of the sign. There must be a minimum of 40 landscape points for each sign.</p>
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		<u>Eastern Property Line:</u> Preservation of landscaping within 20 feet of the property line.		
Signage:		<p><u>Wall:</u> 3 wall signs – measuring 35.54 square feet in total.</p> <p>Sign 1 is 15.73 square feet (14.3 feet by 1.1 feet)</p> <p>Sign 2 is 12.38 square feet (12.38 feet by 1.1 feet)</p> <p>Sign 3 is 7.43 square feet (6.75 feet by 1.1 feet)</p> <p><u>Freestanding Signage</u> 2 freestanding signs</p> <p>Sign 1 is 6 feet+ tall, and 73 square feet in area (3.5 feet by 21 feet)</p> <p>Sign 2 is 6 feet+ tall, 30 square feet in area (5 feet by 6 feet)</p>	<p>Subject to Plan Commission Approval as part of the final detailed site plan of each lot.</p> <p>All signs must be of monument type and no more than six feet in height, and shall meet the sign regulations of the Columbus Zoning Ordinance.</p>	<p><u>Section 10.1(Table 10.1)</u></p> <p><u>Wall:</u> Max number per street frontage per use: 3.</p> <p>Maximum Area, whichever is less: 15% of front wall area or 350 square feet whichever is less (309 square feet for this proposed structure).</p> <p><u>Freestanding:</u> Max number per street frontage: 1 Max Area: 150 square feet. Max Height: 25 feet.</p>
Trash Enclosure:		Unidentified stone enclosure with non-100% opaque wire mesh gate.	None.	<u>Section 6.1(C)(2):</u> Screening shall consist of a 6 foot tall, 100% opaque fence of wood, stone, masonry, architectural metal, or other similar construction.

Lighting:	✓	<p>Foot candles not to exceed 0.1 shown at the PUD boundary lines.</p> <p>Cutoff fixtures that have a cutoff of 90 degrees has been provided.</p>	None.	<p><u>Section 9.4(A):</u> 90 degree cut off fixtures are required.</p> <p><u>Section 9.4(E):</u> A level of illumination not to exceed 0.1 footcandles where adjacent to a single-family, two-family, or multi-family zoning district.</p> <p><u>Section 9.4(E)(2):</u> All such fixtures shall be limited to a maximum total height of 25 feet. Each free-standing light fixture may be provided with a base of up to 36 inches in height, which will not be included in the total height measurement.</p>
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History of this Location:

The relevant history of this property includes the following:

1. On November 1, 1994, the subject area was approved by the City Council to be rezoned from AG (Agriculture District) to a PUD (RZ-94-12). The original Preliminary PUD (PUD-94-8) and preliminary plat (PP-94-19) for the Westwood development area were also subsequently approved. The preliminary PUD established regulations such as permitted uses and height requirements. Details for individual developments such as parking, signage, landscaping, or architectural details would be submitted and reviewed by the Plan Commission as each site was ready to be developed.
2. On March 9, 2016, the Columbus Plan Commission approved a minor subdivision (MP-15-08) to create one new 2 acre lot on the northern portion of Area "A" (This new lot is the current subject property). The Plan Commission also approved a modification to delay the sidewalk installation along Westwood Boulevard until the lot is developed and the Commission determined that a sidewalk along State Road 46 would not be required to be installed. The Plan Commission also approved the removal of a portion of the existing platted "no access" notation along Westwood Boulevard to allow 2 potential driveways on the new lot.
3. On July 5, 2016, the Columbus City Council approved an amendment to the Preliminary PUD (PUD- 16-05) to allow gas stations with convenience stores to be a permitted use within Area A of the Westwood PUD (on the current subject property). The Council approved the amendment with the following commitments:
 - The Preliminary PUD Plan shall specifically exclude fueling locations for semi-tractor trailers.
 - The stormwater area present in Area "A" shall be added to the Preliminary PUD Plan and indicated as such. It shall be further indicated that no development, including parking areas and drives, but excluding landscaping shall occur in this stormwater area.
 - The permitted area for a gas station with convenience store shall be limited to the portion of Area "A" to the north and west of the stormwater detention area.
4. On September 13, 2016 the Plan Commission granted site development plan approval for Rickers to build a gas station with 8 pumps and a 4,500 square foot convenience store on this site under PUDF-16-08, with the following relevant conditions:

- The dwarf “Baby Blue Colorado Spruce” trees proposed to contribute to screening of adjoining residences to the east shall be replaced with large or medium evergreen trees.
- The required public sidewalk along the Westwood Boulevard street frontage shall be extended all the way to the edge of pavement of SR 46, consistent with the minor subdivision approval for Lot 6 (MP-15-08).
- The existing street trees within the right-of-way along the SR 46 frontage shall be preserved.

Comprehensive Plan Consideration(s):

The Future Land Use Map indicates the future use of this property as Commercial.

The following Comprehensive Plan goal(s) and/or policy(ies) apply to this application:

1. **POLICY A-2-11:** Encourage all new development to be in scale (height, area, mass, setback, etc.) with its surroundings, determined on a neighborhood-by-neighborhood basis.
New development should be designed in a manner that is sensitive to the surroundings.
2. **POLICY B-1-9:** Encourage new development to be designed in a manner which preserves natural topography and other natural features, including but not limited to trees, woodlands, wetlands, streams, ponds, and drainage ways.
3. **POLICY E-1-14:** Encourage new businesses in the West Hill/Tipton Lakes/Westwood area to be of similar character to those already developed utilizing planned commercial centers.

This property is located in the Western Gateway character area. The following Planning Principle(s) apply to this application:

1. Commercial development and agriculture should continue to be the dominant land uses in this area.
2. All commercial development should be in centers containing several businesses, planned as a unit and managed by a single entity, as opposed to lot-by-lot, uncoordinated development with curb cuts for each individual business.
3. In order to reflect the importance of this area as the city’s primary entry, design standards should be adopted for layout, buildings, landscaping, signs, and lighting.
4. Where commercial development is adjacent to residential, the commercial development should be required to provide appropriate buffers, including increased setbacks, landscaping, and fencing. Service areas should continue to be screened from view, and noise and light levels should be designed to have minimal impact on residential areas.
5. Pedestrian and bicycle connections should be provided among commercial areas as well as between residential and commercial areas.

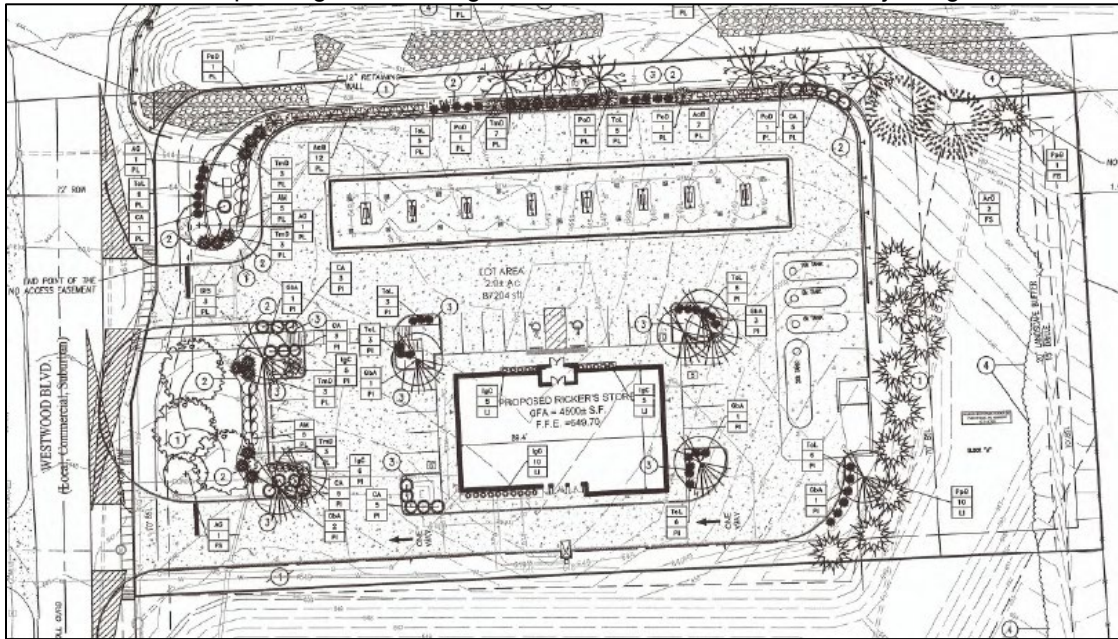
Planning Consideration(s):

The following general site considerations, planning concepts, and other facts should be considered in the review of this application:

1. Westwood Petroleum LLC is proposing to develop the site as a gas station, EV charging center, and convenience store. They are proposing to construct a 4,497 square foot convenience store, approximately 10 fuel pumps, 6 level three electric vehicle charging stations, and a parking area with 29 parking spaces (when including the EV charging spots). An outdoor dining area is also proposed, although the size of that area and its seating capacity are not clear.
2. The proposed convenience store building will be constructed primarily of a mix of stone and brick, however the materials for the back (south facing) side of the building are not conclusively labeled. The applicant has submitted a rendering showing the gas canopy columns as having brick generally consistent with the building design with the canopy to be branded consistent with the gas vendor. The proposed site plan also includes a trash enclosure / shed structure. While it appears this structure is intended to be consistent with the design of the convenience store, the building materials

are not labeled. Further, the trash enclosure does not include the 100% opaque gates required elsewhere in Columbus by the Zoning Ordinance.

3. The Woodcrest Villas, a single-family/condo residential neighborhood, is immediately east of the subject property. The closest residential structure is located approximately 5 feet from the PUD boundary, approximately 110 feet from the EV Parking spaces, and approximately 200 feet from the convenience store. According to the development standards of the Preliminary PUD Plan, a minimum setback of 70 feet would be required from this property line, with 20 feet of that setback utilized for landscaping screening. The PUD does not specify the amount or type of landscape screening, therefore the details would be at the discretion of the Plan Commission. There is a natural tree buffer between the subject property and the adjacent single-family residences that provides some screening. The applicant is proposing to retain all existing landscaping along the eastern property boundary, but has not proposed any new planting that would specifically serve as a buffer. The previous approval of the Final PUD Plan for the Rickers gas station / convenience store on this same site included buffer plantings of 10 evergreen trees for the benefit of the adjoining residences.



4. A public sidewalk is required to be installed along the Westwood Boulevard street frontage of the subject property at the time of development, per the previous minor subdivision approval (MP-15-08). The sidewalk is required to be extended all the way to the edge of pavement of State Road 46. The sidewalk is also required to be extended south across the frontage of an adjacent common area and vacant lot to the Westwood Pines apartments. The applicant's proposed site plan does not current show this required sidewalk connection to Westwood Pines.
5. Along the SR 46 street frontage there are existing street trees planted within the INDOT right-of-way. There are also street trees similar to these located across the street along the Westhill Shopping Center property. Currently, this area has overgrown vegetation in addition to the street trees.
6. Electric vehicle charging spaces are not required for commercial uses; however 6 are proposed for this location by the applicant. Per Zoning Ordinance Section 7.1(E)(4), electrical vehicle charging stations are considered incidental structures and do not have to meet minimum required setbacks. However, the charging station supporting equipment, such as the transformers, are considered accessory structures and must meet setbacks and other similar standards. For level three chargers, as proposed by the applicant, the supporting equipment shall be provided with a 6 foot tall, 100% opaque screening enclosure. The applicant has not yet provided details for the chargers or their supporting equipment.
7. There are proposed to be two drives from Westwood Boulevard onto the subject property. As was noted in the table above, the northernmost drive does not meet the required drive separation of 100

Development Plans For: Jon Moore Pike - Gas Station & Convenience Store

Part of the Northeast Corner of the Northeast Quarter of Section 28, Township 9 N.,
Range 5 E., Columbus Township, Bartholomew County, Columbus, Indiana, 47201

Date:

January 9, 2025

Address:

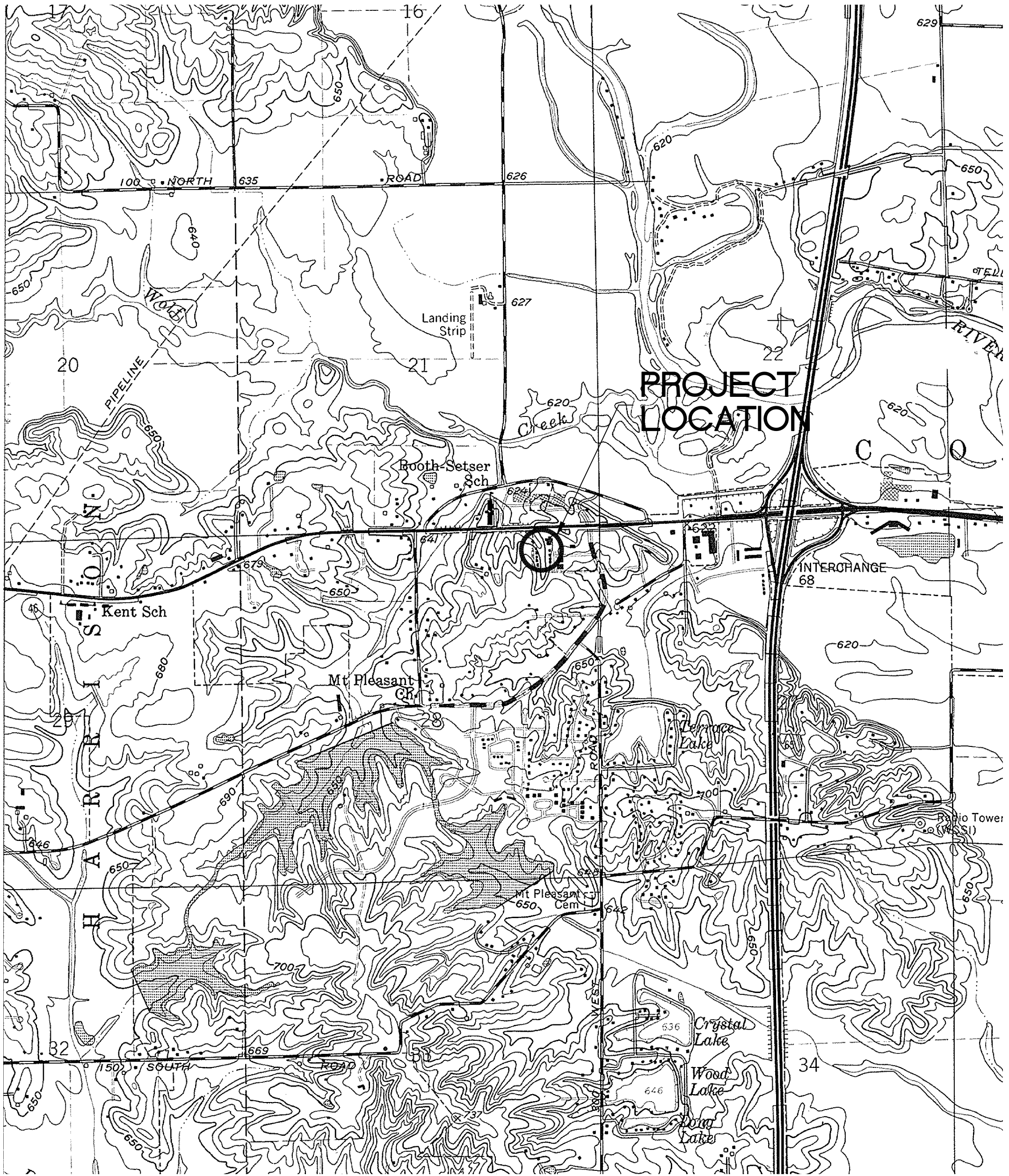
4325 West Jonathan Moore Pike (SR-46)
Columbus, Indiana 47201

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PUBLIC UTILITIES LIST

SANITARY: Columbus City Utilities 1111 McClure Road Columbus, IN 47201 (812) 372-8861	ELECTRIC: Duke Energy 2728 Central Avenue Columbus, IN 47201 (812) 375-2004
WATER: Columbus City Utilities 1111 McClure Road Columbus, IN 47201 (812) 372-8861	TELEPHONE: AT&T 420 E 7th Street Columbus, IN 47201 (812) 376-2887
GAS: Vectren Energy Delivery 4324 Middle Road Columbus, IN 47203 (812) 348-6710	INTERNET: AT&T 420 E 7th Street Columbus, IN 47201 (812) 376-2887



QUADRANGLE MAP

Scale: NTS



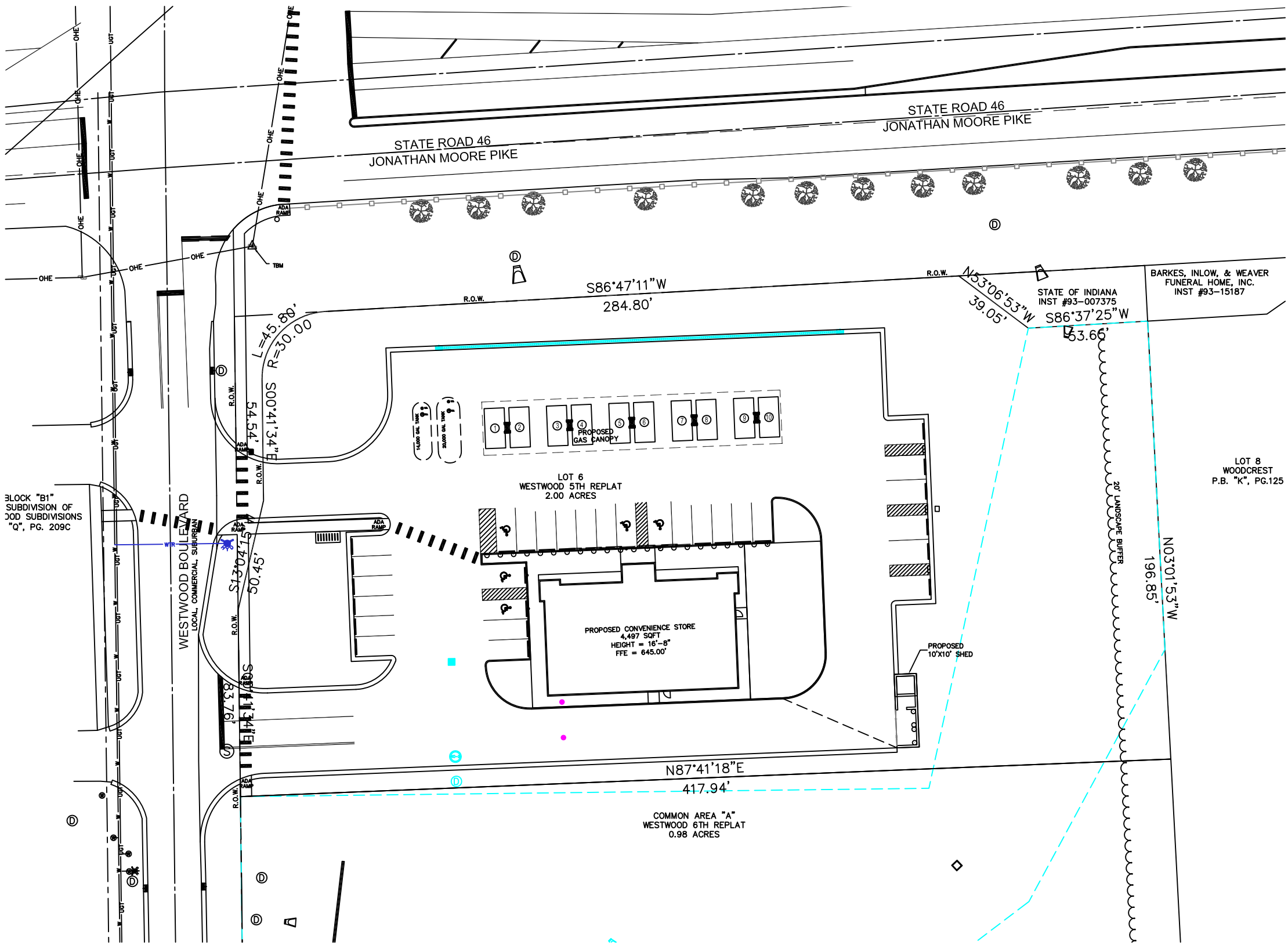
OWNER

Gundeep Singh
Westwood Development, L.L.C.
12158 Whispering Breeze Dr.,
Fishers IN 46037
(317) 712-1030
gundeepsd95@gmail.com



Know what's below.
Call before you dig.

THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.



OVERALL SITE

Scale: 1" = 50'



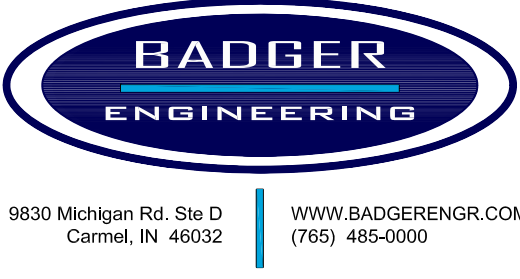
PROJECT LOCATION

Scale: NTS



Christian C. Badger
01/09/25

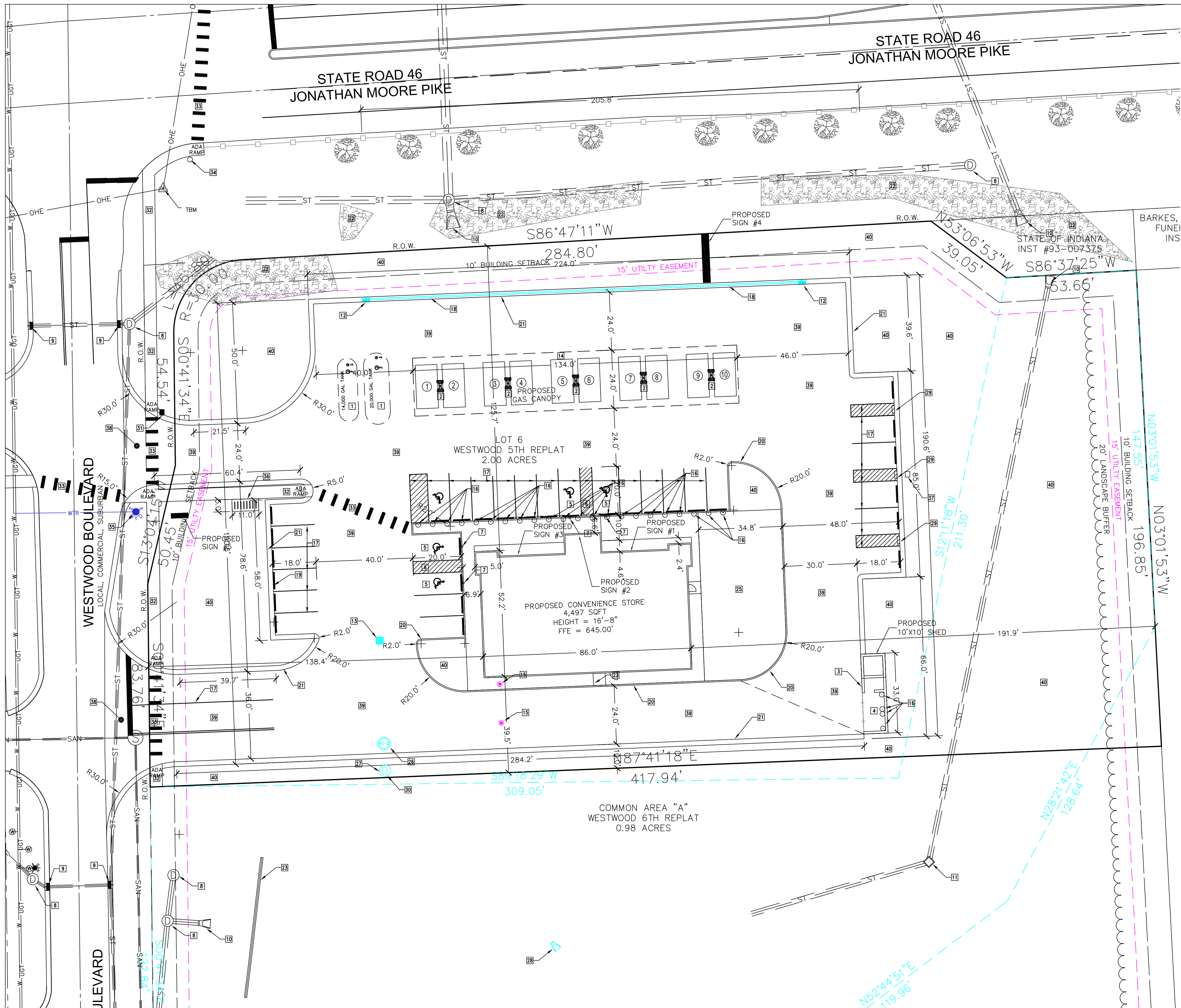
No.	Date	Revision



Jon Moore Pike - Gas Station

Columbus	Columbus Township	Bartholomew County	Indiana
Design By	Drawn By	Checked By	Approved By
DMD	DMD	CCB	CCB

Date	Jan. 9, 2025
Job No.	24-110
Scale	NTS
Sheet No.	C100



Legend

- Developed Edge of Pavement
- Centerline
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Sanitary Manhole
- Proposed Sanitary Cleanout
- Existing Storm Line
- Proposed Storm Line
- Existing Storm Manhole
- Existing Pond Control Structure
- Proposed Curb Inlet
- Proposed Square Storm Inlet
- Proposed Neenah Trench Drain
- Existing Perpetual Drainage Easement
- Existing 20' Landscape Buffer
- Existing 15' Utility Easement
- Existing 10' Building Setback Line
- Proposed Building Line
- Existing Utility Pole
- Existing Overhead Utility
- Existing Minor Contours
- Existing Major Contours
- Proposed Minor Contours
- Proposed Major Contours
- Existing Right-of-Way Line
- Property Line

Keynotes

- 1 GAS TANK
- 2 GAS PUMP W/ 5'X3' PAD
- 3 TRASH ENCLOSURE (SEE DETAIL C800 #5 & ARCHITECTURAL)
- 4 PROPOSED TRASH ENCLOSURE CONCRETE PAD (SEE C800 DETAIL #4)
- 5 HANDICAP PARKING SPACES (SEE DETAIL C800 #9)
- 6 HANDICAP ACCESS RAMP (SEE DETAIL C800 #8)
- 7 HANDICAP PARKING SIGN (SEE DETAIL C800 #10)
- 8 EXISTING STORM MANHOLE
- 9 EXISTING CURB STORM INLET
- 10 EXISTING CONCRETE END SECTION
- 11 EXISTING CONTROL STRUCTURE
- 12 PROPOSED CURB INLET (SEE C801 DETAIL #7)
- 13 PROPOSED SQUARE INLET (SEE C801 DETAIL #5)
- 14 PROPOSED GAS CANOPY (SEE CANOPY DRAWINGS)
- 15 PROPOSED SANITARY CLEANOUT (SEE C403 DETAIL #1)
- 16 PROPOSED 8" DIAMETER CONCRETE BOLLARD (SEE C800 DETAIL #12)
- 17 4" WHITE PARKING LINE
- 18 PROPOSED CONTACT SLOTTED TRENCH DRAIN (SEE C801 DETAIL #6)
- 19 PROPOSED PARKING BLOCK (SEE C800 DETAIL #13)
- 20 PROPOSED MONOLITHIC CURB (SEE C800 DETAIL #2)
- 21 PROPOSED 2" ROLL CURB (SEE C800 DETAIL #4)
- 22 EXISTING RIP RAP
- 23 CONCRETE STOOP
- 24 EXISTING CONCRETE WALL
- 25 OUTDOOR DINING AREA CONCRETE PAD
- 26 AQUASWIRL XCELERATOR-2 (SEE C801 DETAIL #1)
- 27 PROPOSED STORM MANHOLE (SEE C801 DETAIL #6)
- 28 PROPOSED CONCRETE END SECTION
- 29 PROPOSED LEVEL 3 ELECTRIC VEHICLE CHARGING STATION
- 30 PROPOSED DUCKBILL CHECK VALVE (SEE C801 DETAIL #4)
- 31 EXISTING ELECTRICAL TRANSFORMER (RELOCATE AS NEEDED)
- 32 PROPOSED SIDEWALK
- 33 PROPOSED PEDESTRIAN CROSSING
- 34 ACCESSIBLE PEDESTRIAN SIGNAL (ADD TO NE QUADRANT OF INTERSECTION AS WELL)
- 35 PROPOSED FIRE HYDRANT AND WATER CONNECTION
- 36 PROPOSED BIKE RACK
- 37 PROPOSED ELECTRICAL TRANSFORMER FOR EV CHARGING
- 38 PROPOSED R/W ASPHALT PAVEMENT (SEE C800 DETAIL #6a)
- 39 PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE C800 DETAIL #6b)
- 40 PROPOSED LANDSCAPED AREA

PERCENT OF OPEN AREA:
OPEN AREA = 8,403 SQFT
TOTAL AREA = 97,205 SQFT
PERCENT OPEN AREA = 9.22%

RECORDING INFORMATION

THIS DOCUMENT WAS PREPARED BY _____, I, AFFIRM UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

PRINTED NAME _____

RECORDED IN: _____ PAGE _____
THIS _____ DAY OF _____, 20____ AT _____ O'CLOCK ____ M.
INSTRUMENT NO. _____, FEE PAID _____

TAMI L. HINES, BARTHOLOMEW COUNTY RECORDER

WESTWOOD FIFTH AMENDED FINAL PUD
FINAL PUD APPROVAL CERTIFICATE

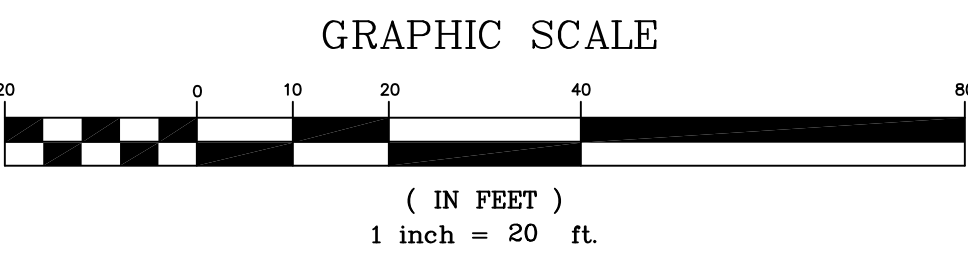
THESE FINAL PLANNED UDAY DEVELOPMENT PLANS WERE APPROVED BY THE CITY OF COLUMBUS PLAN COMMISSION THIS _____ DAY OF _____, 20____

PRESIDENT, DENNIS W. BAUTE

SECRETARY, DAVID L. FISHER



SITE PLAN



OWNER
Gundeep Singh
Westwood Development, L.L.C.
12158 Whispering Breeze Dr.,
Fishers IN 46037

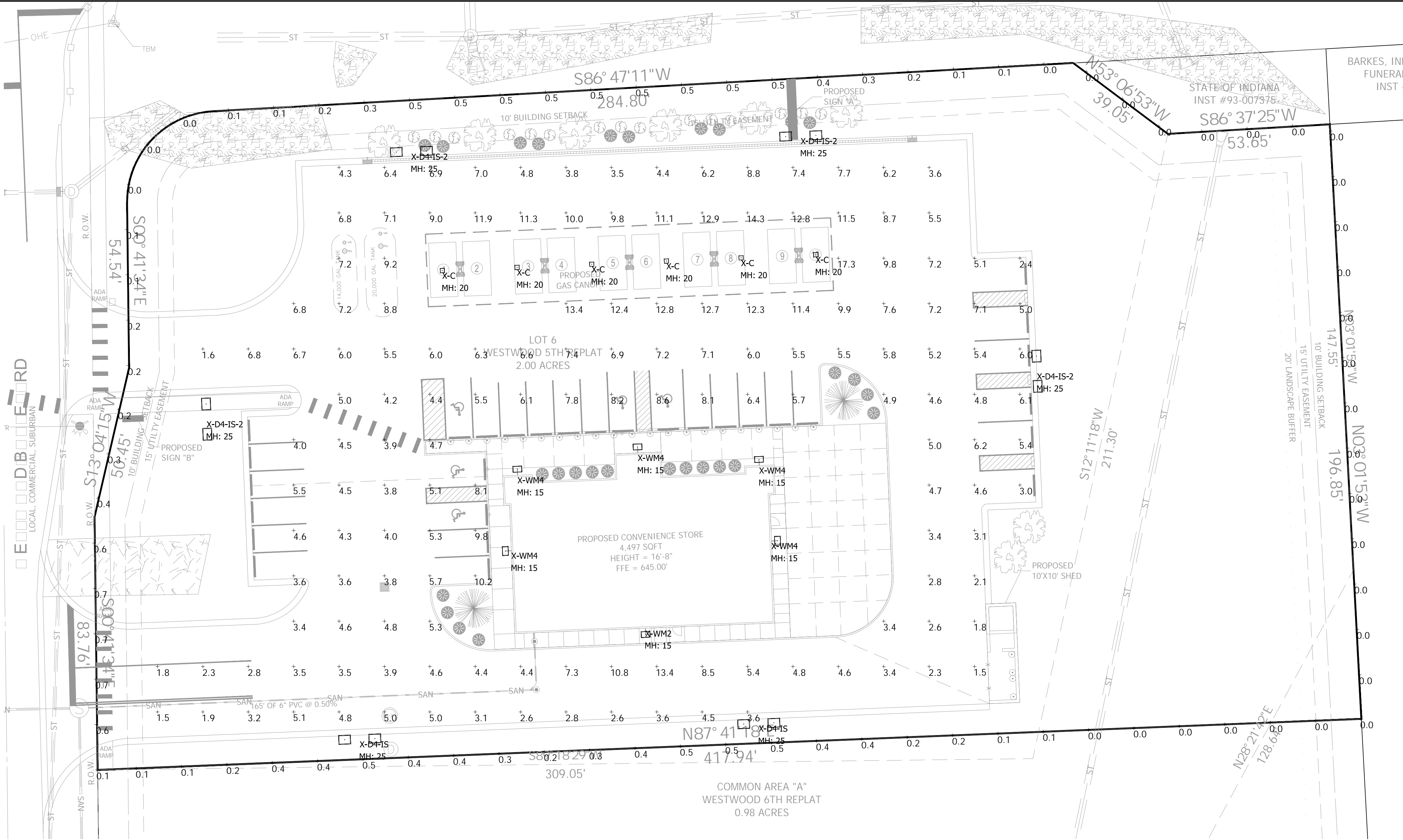
No.	Date	Revision



Site Plan for Westwood Fifth Amended Final PUD Jon Moore Pike – Gas Station			
Columbus	Columbus Township	Bartholomew County	Indiana
Design By DMD	Drawn By DMD	Checked By CCB	Approved By CCB

Date	Jan. 9, 2025
Job No.	24-110
Scale	1"=20'
Sheet No.	C300

Date	Jan. 9, 2025
Job No.	24-110
Scale	1"=20'
Sheet No.	C600



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
	1	X-WM2	Wall Mount	15923	0.900	105	XWM-2-LED-15L-50
	5	X-WM4	Wall Mount	15750	0.900	105	XWM-FT-LED-15L-50
	4	X-D4-IS-2	Twin	17813	0.900	178	VALS-27L-4F-50K7-IS
	2	X-D4-IS	Twin	16656	0.900	178	VALS-27L-4W-50K7-IS
	6	X-C	Single	18056	0.900	139.6	CRU-SC-LED-HO-CW

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
_Property Line	Illuminance	Fc	0.22	0.7	0.0	N.A.	N.A.
Paved Areas & Drives	Illuminance	Fc	6.11	17.3	1.5	4.07	11.53

LIGHTING NOTES:
- Mounting Height = 25' Poles / 15' Building / 20' Canopy
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)
50/30/20 (warehouse areas)

National Lighting Vendor:
For pricing and technical assistance contact:
Matt Earles of CBMC INC, tel# 317-695-7840,
mearles@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, (other than that within the organization necessary to evaluate such specification) without the written permission of CBMC Lighting Solutions. the contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. **copyright © 2018 CBMC Lighting Solutions all rights reserved.**

CBMC

LIGHTING SOLUTIONS

5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217
317-780-8350| WWW.CBMCINC.COM

SEE MORE

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

Columbus Gas Station

SITE LAYOUT

Scale

1" = 20'

Date

1/30/25

Drawn By

SJM

Drawing No

LP1

Project No

CB26982-SITE-3

-

WESTWOOD MARKET FOR: WESTWOOD PETROLEUM LLC



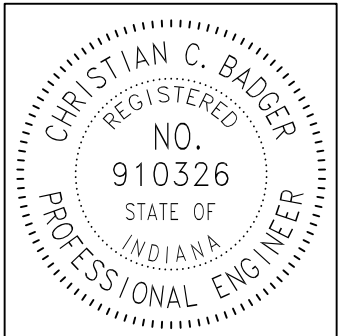
3D VIEW - FRONT
SCALE: NTS



3D TRASH ENCLOSURE
SCALE: NTS



3D SIDE VIEW - FRONT
SCALE: NTS



Christian C. Badger
CERTIFIED BY
01/30/25

NO.	DESCRIPTION:	BY:	DATE:

DRAWN BY:	APPROVED BY:
RMM	CCB

SHEET TITLE:		3D VIEWS	
WESTWOOD MARKET			
4325 W. JONATHAN MOORE PIKE, COLUMBUS, IN. 47201			
COLUMBUS	COLUMBUS TOWNSHIP	BARTHOLOMEW CO.	INDIANA



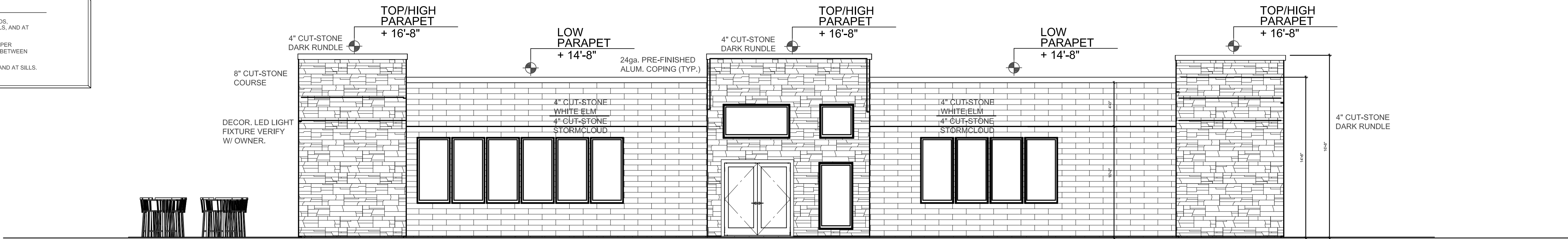
SCALE:
AS NOTED
JOB NO:
24-110
DATE:
01/30/25
SHEET:
A-1

WESTWOOD MARKET FOR: WESTWOOD PETROLEUM LLC

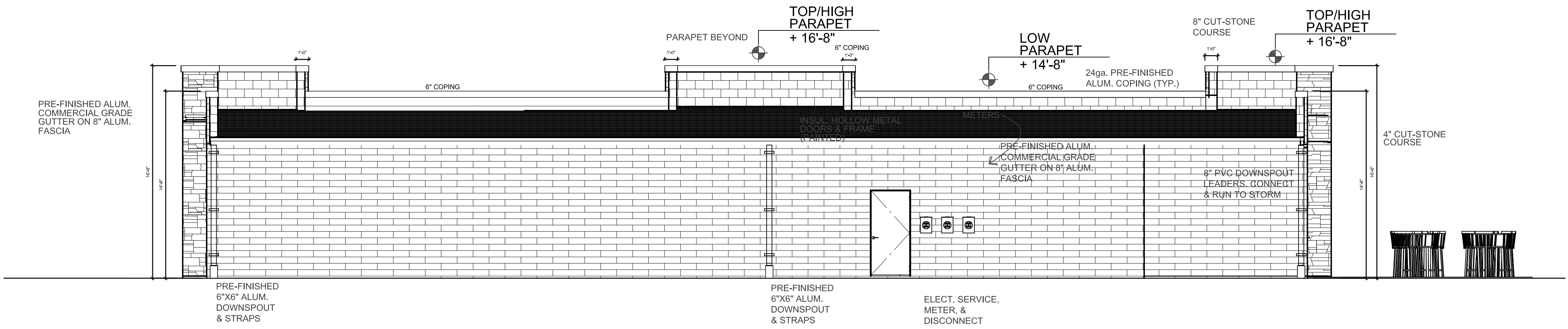


COLOR FRONT ELEVATION

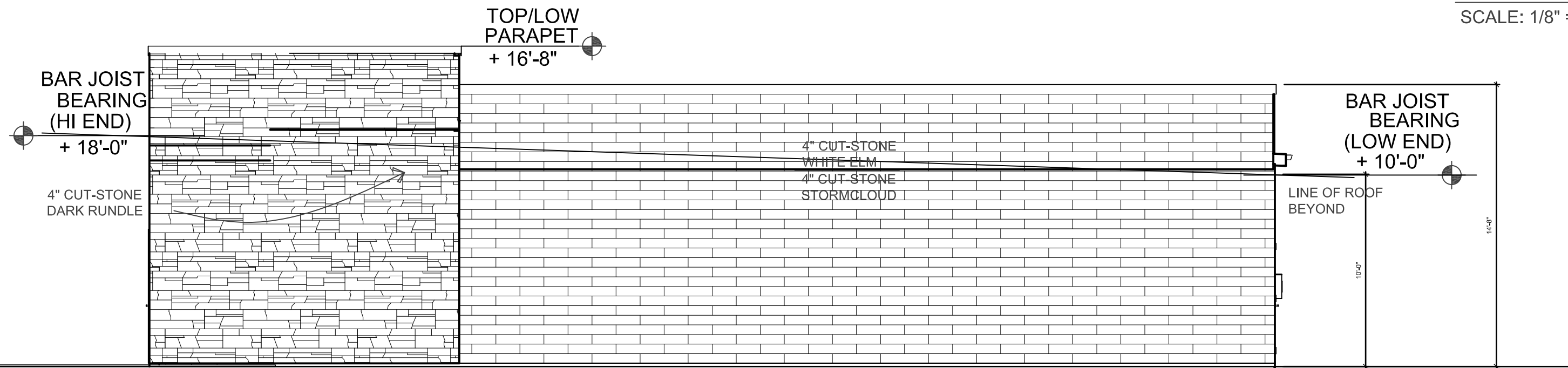
- FLASHING NOTES**
1. PROVIDE FABRIC FLASHING AT ALL WINDOW AND DOOR HEADS, WINDOW SILLS, AT THE BOTTOM OF ALL BRICK VENEER WALLS, AND AT LOCATIONS INDICATED ON THE DRAWINGS.
 2. FABRIC FLASHING SHALL BE COPPER-FABRIC LAMINATE (COPPER SHEET WEIGHING 3 OZ. PER SQ. FT. BONDED WITH ASPHALT BETWEEN 2 LAYERS OF GLASS FIBER CLOTH).
 3. DAM ENDS OF ALL FLASHING AT WINDOW AND DOOR HEADS AND AT SILLS.
 4. SLOPE TOP OF ALL SILLS MINIMUM 1%.



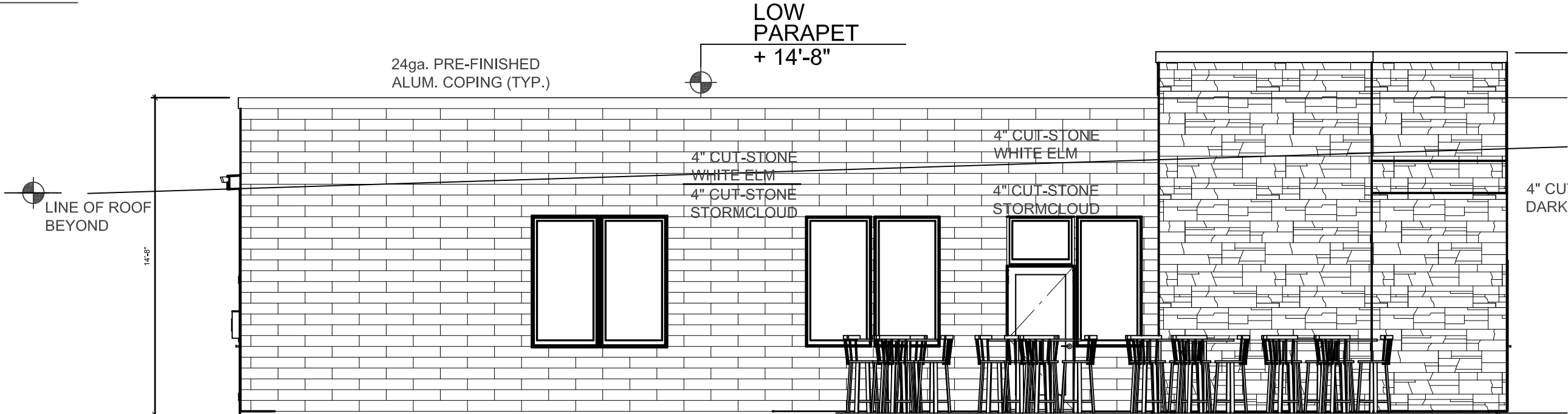
FRONT ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



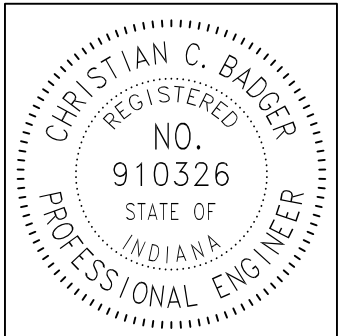
REAR ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



LEFT ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



Christian C. Badger
CERTIFIED BY
01/30/25

NO.	DESCRIPTION:	BY:	DATE:

DRAWN BY:	APPROVED BY:
RMM	CCB

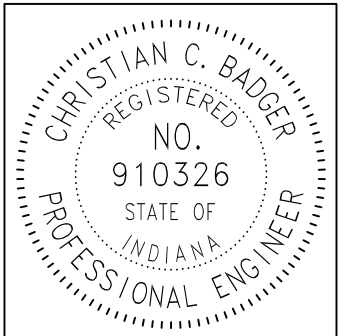
SHEET TITLE: ELEVATIONS	WESTWOOD MARKET	INDIANA
	4325 W. JONATHAN MOORE PIKE, COLUMBUS, IN 47201	
	COLUMBUS TOWNSHIP	
	COLUMBUS	



SCALE:
AS NOTED
JOB NO:
24-110
DATE:
01/30/25
SHEET:
A-3

WESTWOOD MARKET FOR: WESTWOOD PETROLEUM LLC

NOTE: EROSION PROTECTION WHERE WATER IMPACTS THE GROUND FROM THE ROOF EDGE, DOWNSPOUTS, ETC. PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION & DIRECT WATER AWAY FROM FOUNDATION



CERTIFIED BY
01/30/25

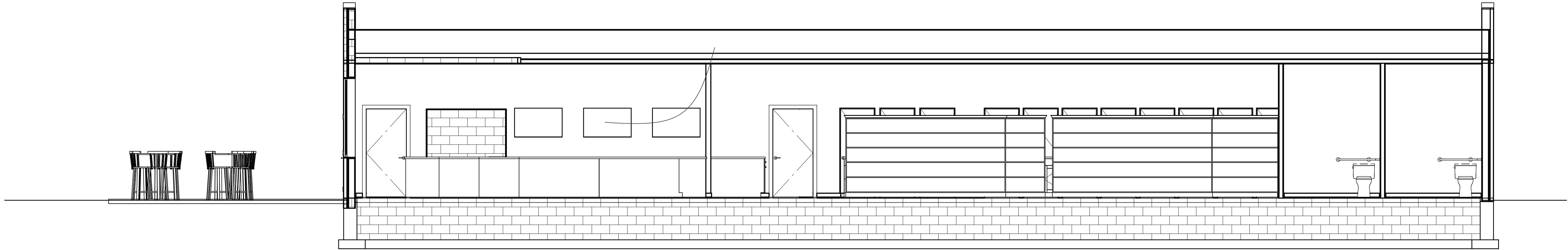
NO.	DESCRIPTION:	BY:	DATE:

DRAWN BY:	RMM	APPROVED BY:	CCB
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SHEET TITLE:	BUILDING SECTIONS & TRASH ENCLOSURE	COLUMBUS	COLUMBUS TOWNSHIP	BARTHOLOMEW CO.	INDIANA
WESTWOOD MARKET					
4325 W. JONATHAN MOORE PIKE, COLUMBUS, IN 47201					

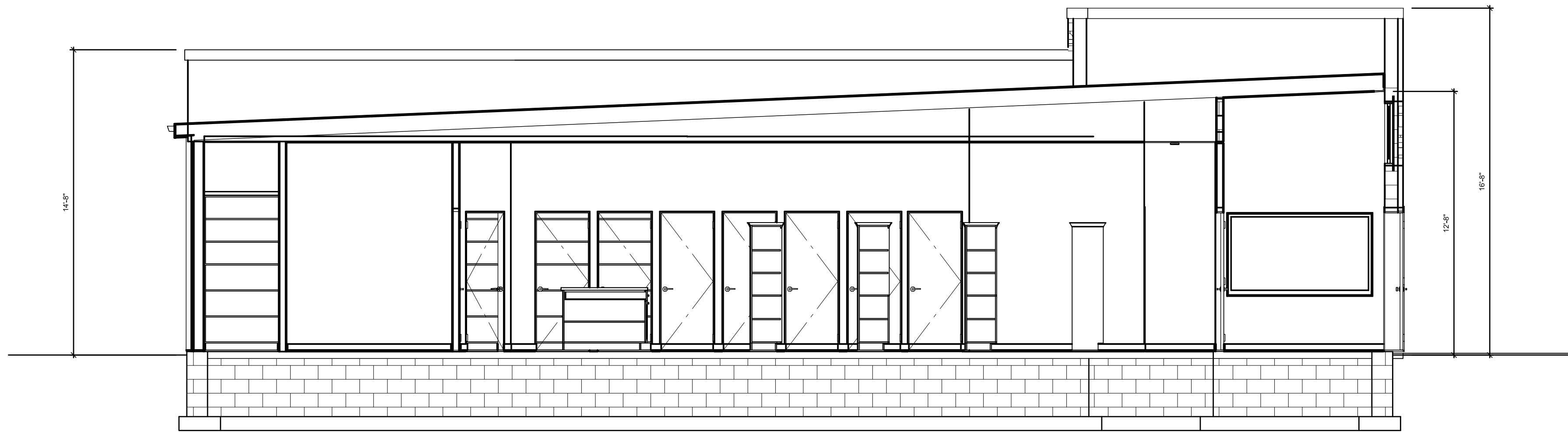


SCALE:	AS NOTED
JOB NO:	24-110
DATE:	01/30/25
SHEET:	A-4



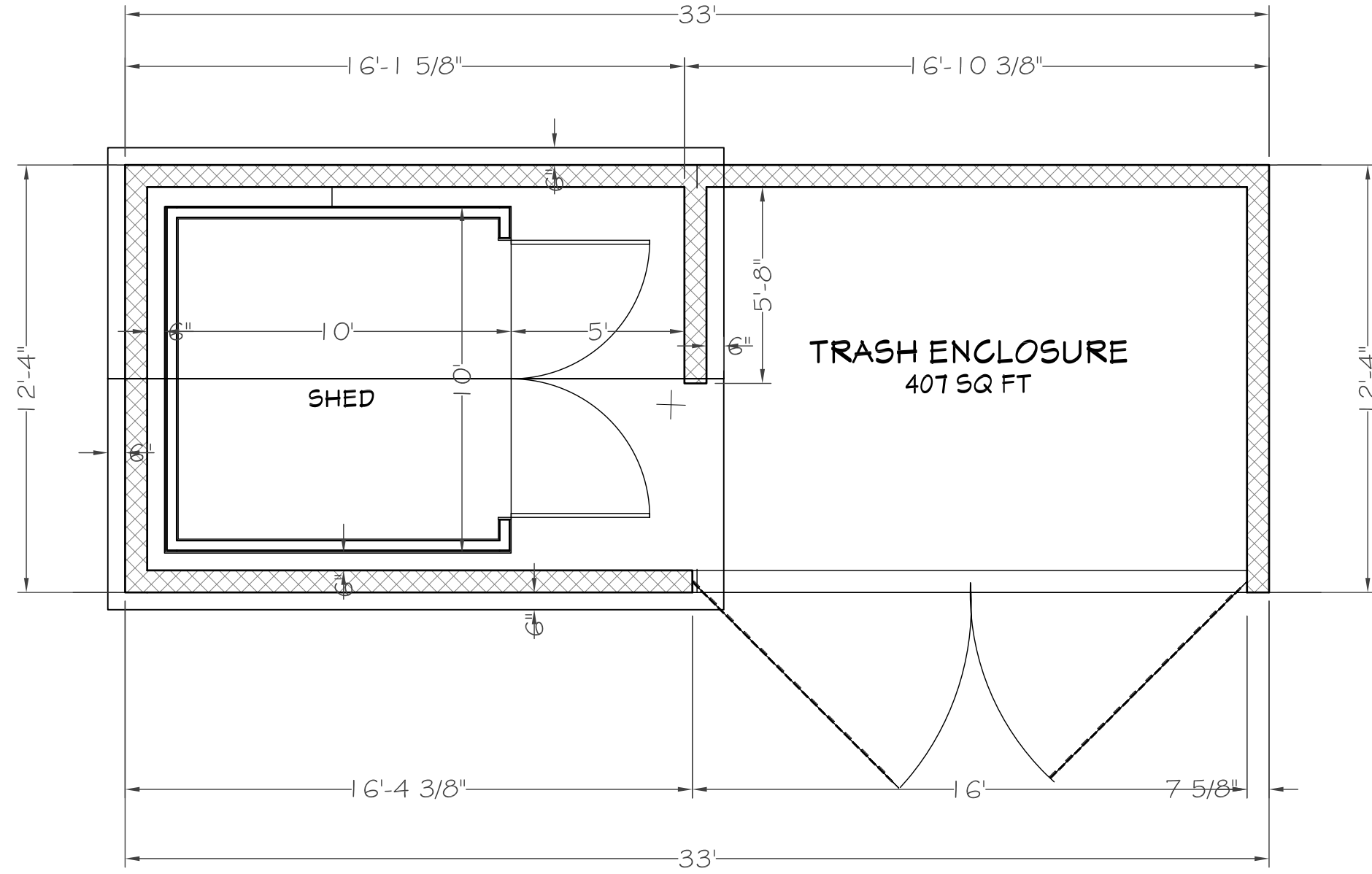
BUILDING SECTIONS

SCALE: 1/4"=1'-0"



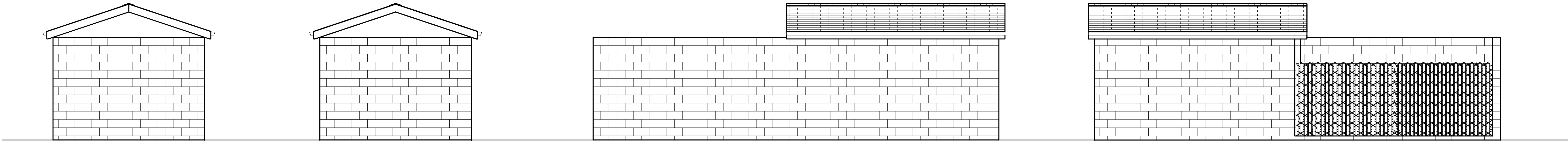
BUILDING SECTION

SCALE: 1/4"=1'-0"



TRASH ENCLOSURE PLAN

SCALE: 1/4"=1'-0"



TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4"=1'-0"