



STAFF REPORT

CITY OF COLUMBUS PLAN COMMISSION (May 14, 2025 Meeting)

Docket No. / Project Title: PP-2025-001 (Wildflower Ridge Major Subdivision)
Staff: Andres M. Nieto
Applicant: Silverthorne Homes
Property Size: +/- 23.26 acres
Current Zoning: RS3 (Residential: Single-family 3)
Location: 100 feet north of the intersection of Daylily Drive & Wild Orchid Way, in the City of Columbus.

Request Summary:

The applicant is requesting approval of a major subdivision preliminary plat consistent with Subdivision Control Ordinance Chapter 16.16. The proposed subdivision would create 42 lots and 4 common areas totaling +/- 23.26 acres.

Modifications:

The applicant is proposing the following modification(s) from the subdivision control ordinance design or improvement standards that would typically apply to this development:

1. From Section 16.24.030(F)(1): To allow a temporary dead end to be 165 feet in length, exceeding the 150-foot maximum length (Honeysuckle Lane).
2. From Section 16.24.030(F)(1): To allow a temporary dead end to be 162 feet in length, exceeding the 150-foot maximum length (Lavender Lane West).
3. From Section 16.24.030(F)(1): To allow a temporary dead end to be 202 feet in length, exceeding the 150-foot maximum length (Lavender Lane East).

Plan Commission Process, Options, & Preliminary Staff Recommendation:

Step 1 - Modification Request(s):

The initial step in the approval process is for the Plan Commission to determine whether or not any requests for modification from the design or improvement standards of the Subdivision Control Ordinance can be supported based on the decision criteria provided. Subdivision Control Ordinance Section 16.32.020 indicates that the Plan Commission may grant a modification of the standards upon the determination that each provided criterion has been met. A separate motion with specific findings is recommended for each requested modification. The Plan Commission may attach conditions to any approved modification that are related to that modification and "will reasonably secure the objectives and requirements" of the Subdivision Control Ordinance (Section 16.32.030(B)).

Requested Modification #1 – Honeysuckle Lane Temporary Dead End Length: The applicant proposes a temporary dead end on Honeysuckle Lane to extend +/- 165 feet. Section 16.24.030(F)(1) of the Subdivision Control Ordinance states that temporary dead end streets shall be 150 feet.

Preliminary Staff Recommendation: Approval, all criteria have been met.

Criteria #1: The modification will not be detrimental to the public health, safety, and general welfare.

Preliminary Staff Findings: The intent of this requirement in the Subdivision Control Ordinance is to safely facilitate the needs fire trucks and other emergency vehicles when responding to an emergency. The Columbus Fire Department expressed no concerns about this extended temporary dead end. This criterion has been met.

Criteria #2: Adjacent property will not be adversely affected.

Preliminary Staff Findings: This Honeysuckle Lane stub street will be required by the Subdivision Control Ordinance to include signage notifying adjoining property owners of the future connection. Adjacent property owners will be well informed and not adversely affected. This criterion has been met.

Criteria #3: The modification is justified because of exceptional topographic or other physical conditions unique to the property involved, as opposed to mere inconvenience or financial disadvantage.

Preliminary Staff Findings: The topography of the subject property has influenced the decision to not connect Daylily Drive to the north as the stub street, with this connection better accomplished by extending Honeysuckle Lane instead. This, along with the length of a typical lot, has justified this modification. This criterion has been met.

Criteria #4: The modification is consistent with the intent of this (the Subdivision Control Ordinance) and other applicable ordinances and the Comprehensive Plan.

Preliminary Staff Findings: The intent of this requirement in the Subdivision Control Ordinance is to safely facilitate the needs fire trucks and other emergency vehicles when responding to an emergency. The Columbus Fire Department expressed no concerns about this extended temporary dead end. This criterion has been met.

Criteria #5: The modification will not conflict with the requirements of the zoning ordinance, including but not limited to lot area, lot frontage, lot width, and setback(s).

Preliminary Staff Findings: The lots in the vicinity of the temporary dead end street on Honeysuckle Lane meet all requirements of the zoning ordinance. This criterion has been met.

Requested Modification #2 – Lavender Lane (West) Temporary Dead End Length: The applicant proposes a temporary dead end on Lavender Lane (west) to extend +/- 162 feet. Section 16.24.030(F)(1) of the Subdivision Control Ordinance states that temporary dead end streets shall be 150 feet.

Preliminary Staff Recommendation: Approval, all criteria have been met.

Criteria #1: The modification will not be detrimental to the public health, safety, and general welfare.

Preliminary Staff Findings: The intent of this requirement in the Subdivision Control Ordinance is to safely facilitate the needs fire trucks and other emergency vehicles when responding to an emergency. The Columbus Fire Department expressed no concerns about this extended temporary dead end. With the temporary turn-around as proposed, this criterion has been met.

Criteria #2: Adjacent property will not be adversely affected.

Preliminary Staff Findings: This Lavender Lane (west) stub street will be required by the Subdivision Control Ordinance to include signage notifying adjoining property owners of the future connection. Adjacent property owners will be well informed and not adversely affected. This criterion has been met.

Criteria #3: The modification is justified because of exceptional topographic or other physical conditions unique to the property involved, as opposed to mere inconvenience or financial disadvantage.

Preliminary Staff Findings: The length of the Lavender Lane (west) temporary dead end is the result of Periwinkle Lane's extension from the south, forming the intersection with Lavender Lane, and its proximity to the west property line. This criterion has been met.

Criteria #4: The modification is consistent with the intent of this (the Subdivision Control Ordinance) and other applicable ordinances and the Comprehensive Plan.

Preliminary Staff Findings: The intent of this requirement in the Subdivision Control Ordinance is to safely facilitate the needs fire trucks and other emergency vehicles when responding to an emergency. The Columbus Fire Department expressed no concerns about this extended dead end. This criterion has been met.

Criteria #5: The modification will not conflict with the requirements of the zoning ordinance, including but not limited to lot area, lot frontage, lot width, and setback(s).

Preliminary Staff Findings: The lots in the vicinity of the temporary dead end street on the west end of Lavender Lane meet all requirements of the zoning ordinance. This criterion has been met.

Requested Modification #3 – Lavender Lane (East) Temporary Dead End Length: The applicant proposes a temporary dead end on Lavender Lane (east) to extend +/- 202 feet. Section 16.24.030(F)(1) of the Subdivision Control Ordinance states that temporary dead end streets shall be 150 feet.

Preliminary Staff Recommendation: Approval, all criteria have been met.

Criteria #1: The modification will not be detrimental to the public health, safety, and general welfare.

Preliminary Staff Findings: The intent of this requirement in the Subdivision Control Ordinance is to safely facilitate the needs fire trucks and other emergency vehicles when responding to an emergency. The Columbus Fire Department expressed no concerns about this extended temporary dead end. With the temporary turn-around as proposed, this criterion has been met.

Criteria #2: Adjacent property will not be adversely affected.

Preliminary Staff Findings: This Lavender Lane (east) stub street will be required by the Subdivision Control Ordinance to include signage notifying adjoining property owners of the connection. Adjacent property owners will be well informed and not adversely affected. This criterion has been met.

Criteria #3: The modification is justified because of exceptional topographic or other physical conditions unique to the property involved, as opposed to mere inconvenience or financial disadvantage.

Preliminary Staff Findings: The location of the required Honeysuckle Lane temporary dead end to the north and its resulting intersection with Lavender Lane dictates the length of the Lavender Lane temporary dead end. The Honeysuckle Lane location is the product of topography on the adjoining property to the north as well as the optimal layout of lots in the development. This criterion has been met.

Criteria #4: The modification is consistent with the intent of this (the Subdivision Control Ordinance) and other applicable ordinances and the Comprehensive Plan.

Preliminary Staff Findings: The intent of this requirement in the Subdivision Control Ordinance is to safely facilitate the needs fire trucks and other emergency vehicles when responding to an emergency. The Columbus Fire Department expressed no concerns about this extended dead end. This criterion has been met.

Criteria #5: The modification will not conflict with the requirements of the zoning ordinance, including but not limited to lot area, lot frontage, lot width, and setback(s).

Preliminary Staff Findings: The lots in the vicinity of the temporary dead end street on the west end of Lavender Lane meet all requirements of the zoning ordinance. This criterion has been met.

Step 2 - Required Revision(s):

The Plan Commission should identify any needed corrections or additions to the proposed plat that are necessary to meet the requirements of the Subdivision Control Ordinance and for which modifications have not been approved. The Plan Commission should also stipulate any changes necessary for the subdivision to comply with the Commission's determinations on those design or improvement details that are at its discretion. Any required revisions must enforce the requirements of the Subdivision Control Ordinance. Discretionary features include those specifically indicated as such by the Subdivision Control Ordinance (such as the number of lots to be served by access easement) and those for which ensuring compliance requires the case-by-case application of the requirements by the Commission (such as street names, traffic calming, or supplementary travel lanes).

Preliminary Staff Recommendation: The following required revisions should be included as part of the plat approval: None

Step 3 - Request Approval, Denial, or Continuance:

In reviewing a request for *major subdivision approval*, the Plan Commission shall (1) approve the request if the proposal meets the minimum standards of the Subdivision Control Ordinance, (2) deny the request if the minimum standards of the ordinance are not met and appropriate modifications are not obtained, or (3) continue the request to gather further information or otherwise as provided by the Plan Commission Rules of Procedure and Subdivision Control Ordinance Section 16.40.050. The Plan Commission should make, second, and vote on a motion for the approval, denial, or continuance of the request. Any motion for approval should (1) note any approved modification(s) and (2) incorporate any required revisions.

Preliminary Staff Recommendation: Approval.

Current Property Information (entire subdivision site):	
Land Use:	Vacant
Site Features:	Woods, Opossum Creek Regulated Drain, and bridge.
Flood Hazards:	Zone AE 100-year Floodplain Zone X 500-year Floodplain Zone AE Floodway
Special Circumstances: (Airport Hazard Area, Wellfield Protection Area, etc.)	This property falls entirely within the 5-year time of travel Wellfield Protection Overlay District.
Vehicle Access:	Daylily Drive (Local, Residential, Suburban) Periwinkle Lane (Local, Residential, Suburban)

Surrounding Zoning and Land Use (entire subdivision site):		
	Zoning:	Land Use:
North:	AP (Agriculture: Preferred)	Agriculture
South:	RS2 (Residential: Single-family 2) RS3 (Residential: Single-family 3)	Single-family residential
East:	AP (Agriculture: Preferred)	Agriculture
West:	AP (Agriculture: Preferred)	Agriculture

Interdepartmental Review:	
City Engineering:	Move light pole near mailbox.
City Utilities:	No concerns.
Parks Department:	No comments.
Fire Department:	No comments.
Drainage Board:	Comments have been addressed.

History of this Location:

The relevant history of this property includes the following:

1. On June 16, 2009, the Columbus City Council approved a rezoning application (RZ-09-06) to rezone the subject property from RS2 (Residential: Single-family 2) to RS3 (Residential: Single-family 3). No conditions were included as part of this approval.
2. On December 9, 2015, the Columbus Plan Commission approved the Wildflower Ridge Major Subdivision preliminary plat (PP-15-04) that included 37 lots and 1 common area. The Plan Commission also approved three modification requests to allow (1) a temporary dead end at Lavender Lane to exceed 150 feet in length, (2) a temporary dead end at Honeysuckle Lane to exceed 150 feet in length, and (3) to waive the requirement to extend Lavender Lane to the western property line. The Commission also placed the following condition on the approval: A fire hydrant shall remain at the end of the Lavender Lane stub street, as specified by the Fire Department.
3. On July 13, 2016, the Columbus Plan Commission approved a revision (PP-16-02) to the previously approved major subdivision preliminary plat. The applicant requested this revision to allow a reconfiguration of the size of the Common Area and to request a modification to allow greater separation of street trees along the Opossum Creek regulated drain right-of-way of both Daylily Drive and Periwinkle Lane. The Plan Commission approved this request subject to the following condition being addressed: An easement shall be provided on Block D for the Bartholomew County Drainage Board to provide access to the Opossum Creek regulated drain.

4. On April, 24, 2018, the Planning Department approved an extension of the preliminary plat approval for Wildflower Ridge Major Subdivision until July 13, 2020. This approval was set to expire on July 13, 2018. Preliminary Plat approvals expire if no Final Plat is recorded by the expiration date.
5. On June 28, 2021, the Planning Department approved another extension of the Wildflower Ridge Major Subdivision preliminary plat approval until July 13, 2022.
6. On July 13, 2022, the Wildflower Ridge Major Subdivision preliminary plat approval expired.

History of this Application:

The relevant history of this application includes the following: The proposed preliminary plat was reviewed by the Columbus Subdivision Review Committee at its April 24, 2025 meeting and forwarded to the Plan Commission.

Planning Consideration(s):

The following general site considerations, community planning concepts, and other facts should be considered in the review of this application:

1. The proposed preliminary plat is a part of the Wildflower residential neighborhood which is comprised of 4 other preliminary plats (Wildflower Estates 1, Wildflower Estates 2, Wildflower Estates 3, and Wildflower Commons) and currently has a total of 182 approved lots. Wildflower Ridge, the 5th preliminary plat was approved in 2015 and included a total of 37 lots and 1 common area. This approval was extended several times, until it expired in July of 2022.
2. There are approximately 770 acres of developable land immediately north of the subject property that are included in the City View District Plan Element of the Comprehensive Plan. This land is currently used for agriculture. Subdivision Control Ordinance Section 16.24.030(E)(1) requires the proposed Wildflower Ridge to provide a stub street connection to adjoining properties, including this property to the north. While an extension of Daylily Drive would provide the most direct route, the applicants have proposed Honeysuckle Lane as that connection farther to the east due to the significant topography on the western portion of the adjacent property to the north. According to the applicants, the topography is less severe at the proposed Honeysuckle Lane connection and it would be more feasible to be extended a street in the future at this location.
3. The adjacent property to the west is approximately 37 acres in size and also has potential to be developed in the future. There was a stub street to this parcel (Trillium Way) provided as a part of Wildflower Estates 2. However, this adjacent property is divided into two areas by Opossum Creek, with Trillium Way serving as a stub street to that area south of the creek and the proposed Lavender Lane serving the area north of the creek. In addition, the applicants are proving the required stub street to the 85-acre parcel to the east.
4. Section 16.24.030(F)(1) of the Subdivision Control Ordinance limits the length of a temporary dead end, or a stub street, to 150 feet. The applicant is requesting three modifications from this requirement for Honeysuckle Lane and both ends (west/east) of Lavender Lane. The applicant is proposing (1) the Honeysuckle Lane stub street be +/- 165 feet, (2) the Lavender Lane West stub street to be +/- 162 feet, and (3) the Lavender Lane East stub street to be +/- 202 feet in length. The intent of the maximum length is to safely facilitate the needs of fire trucks and other emergency vehicles when responding to an emergency. The temporary turn-around proposed on Lavender Lane (west) will be 20 feet wide by 80 feet long and constructed of gravel (#2 stone). The temporary turn-around proposed on Lavender Lane (east) will be designed as a hammerhead, measuring 20 feet wide by 120 feet in total length, and constructed of gravel (#2 stone). The fire department has expressed their need for these temporary turn-arounds in order to accommodate fire trucks and/or emergency vehicles in the event of an emergency.
5. The proposed preliminary plat includes a new bridge that crosses Opossum Creek with Periwinkle Lane. Opossum Creek is a regulated drain under the jurisdiction of the Bartholomew County Drainage Board. Anything constructed within the regulated drain right-of-way requires review and approval by the Drainage Board. This approval is still needed and will be required prior to the approval of any Subdivision Improvement Agreement for the subdivision construction. Additionally, Subdivision Control Ordinance Section 16.24.040(B) requires written documentation that the bridge design is acceptable to the Bartholomew County Commissioners and that the County is willing to own and

maintain the bridge prior to any Subdivision Improvement Agreement being approved. The existing bridge with Daylily Drive has been previously approved.

6. The subdivision is located within the Wellfield Protection Overlay District. The intent of the overlay's regulations is to prevent land uses and certain development practices from degrading the quality of the City's water supply. The Wellfield Protection Overlay District does not require any special approval for residential uses.

Applicable Subdivision Control Ordinance Requirement(s):

The following provisions of the Subdivision Control Ordinance apply to the consideration of this application:

1. Section 16.24.030(F)(1) Dead End Streets – Maximum Length: The maximum length of a temporary dead end street shall be 150 feet.
2. Section 16.24.030(E)(1) Local Street Connections Required: Local streets shall extend to a subdivision's boundary lines in all directions, specifically when (1) the adjoining property is likely to develop with a similar or generally compatible land use and (2) the adjoining parcel is large enough to support a street.
3. Section 16.24.030(E)(2) Local Street Connection Exemptions: Plan Commission may allow specific local street connections to be omitted from the subdivision design when:
 - a. Natural topographic features exist at or near the subdivision property boundary which would make such a connection infeasible (such as a stream which would require a bridge),
 - b. Other features exist at or near the property line which would make such a connection infeasible (such as a railroad), and/or
 - c. The existing development pattern of adjoining properties prohibits the possibility of a future street extension.

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City of Columbus - Bartholomew County Planning Department

Subdivision Application

Submit applications and materials by e-mail to planning@columbus.in.gov. If questions, please call: 812.376.2550.
Submittal instructions available at <https://www.columbus.in.gov/planning/applications-forms/>.

To be Completed by the Planning Department

Major Subdivision Pre-submittal Meeting on (date): _____ by (initials): _____

Application Received on (date): _____ by (initials): _____

Jurisdiction: ☐ Columbus ☐ Bartholomew County ☐ Joint District

Docket No.: _____

Property Owner Name (from GIS): _____

To be Completed by the Applicants

STOP! All Major Subdivision applicants must complete a pre-submittal meeting with a Planning Department staff member before completing this application. Please contact the Department at 812.376.2550 when the major subdivision primary plat drawings are approximately 75% complete and at least 2 weeks prior to the applicable Plan Commission application deadline to schedule the meeting. The Department cannot guarantee a timely meeting if contacted less than 2 weeks prior to the deadline and is not responsible for any missed deadline that may result.

All Minor Subdivision applications must include the required existing features information and septic site verifications. Applications lacking this information on the application deadline will be considered incomplete and will not be docketed for Plat Committee consideration.

Subdivision Type: ☒ Major (Primary Approval) ☐ Minor ☐ Agriculture ☐ Administrative

Proposed Subdivision Name: Wildflower Ridge

Representative / Notification Information:

The contractor, surveyor, attorney, or other person authorized to act on behalf of the project owner (or the project owner if no other representative will be used) and to whom all correspondence regarding this application should be directed.

Representative Person's Name: Kevin C. Sumner

Representative's Company Name: Weihe Engineer's, Inc.

Mailing Address: 10505 N. College Avenue, Indianapolis, IN 46280
(number) (street) (city) (state) (zip)

Phone No.: 317-846-6611 E-mail Address: sumnerk@weihe.net

All correspondence will be by e-mail unless another method has been agreed upon by the Planning Department.

Professional Land Surveyor Information:

The professional land surveyor primarily responsible for the subdivision design and drawings. If the land surveyor is also the representative listed above, please indicate "same as above" in the "Name" line below.

Surveyor's Name: Same as Above

Company Name: _____

Mailing Address: _____
(number) (street) (city) (state) (zip)

Phone No.: _____ E-mail Address: _____

Project Information:

The property owner, land developer, business, institution, etc. that is proposing the subdivision – NOT the contractor, surveyor, or other representative (see above).

Property Owner, Land Developer, Etc. Name: Land Developer: Silverthorne Homes

Property Owner, Land Developer, Etc. Contact Person Name: Land Developer Contact Person: Lantz McElroy

Mailing Address: 9225 Harrison Park Court, Indianapolis, IN 46216
(number) (street) (city) (state) (zip)

Phone No.: 317-827-6643 E-mail Address: lantzm@yourarborhome.com

Total Number of Parcels: Existing: 2 Proposed: 46 **Total Land Area:** 23.26 Acres

Please include all lots, tracts, blocks, etc. in both the total number of parcels and total land area above.

Are any modifications from the Subdivision Control Ordinance proposed? ☒ Yes ☐ No

If "Yes", a completed worksheet for each requested modification must also be provided.

Property / Location Information:


Property Address: Columbus, IN
(number) (street) (city)

or Other Description (if no address is assigned, provide the parcel number(s), distance from the nearest street/road intersection, etc.):

Parcels: 03-95-34-410-000.100-005 and 03-95-34-410-000.200-005; 100' north of Wild Orchid Way and Daylily Dr. Intersection

Representative's Signature / Acknowledgement:

The information included in and with this application is completely true and correct to the best of my knowledge and belief.


(Representative's Signature)

(Printed Name)

KEVIN C. SUMNER

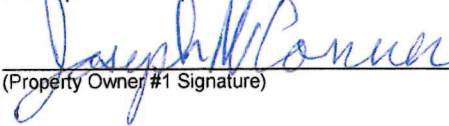
(Date)

4-14-2025

Property Owner Signature:

The owner DOES NOT include a tenant or contract buyer. Applications submitted without the property owner signature(s) will not be processed. If those signing as property owner below are not specifically listed as such in the records of Bartholomew County, please indicate their relationship to that officially listed person, role in that corporation or entity, etc. where "Title" is requested below.

I authorize the filing of this application and will allow the Planning Department staff to enter this property for the purpose of analyzing this request. I understand that a public notice sign may be placed and remain on the property until the processing of the request is complete.


(Property Owner #1 Signature)

(Printed Name)

Joseph W. Conner, Member

(Title, if Needed)

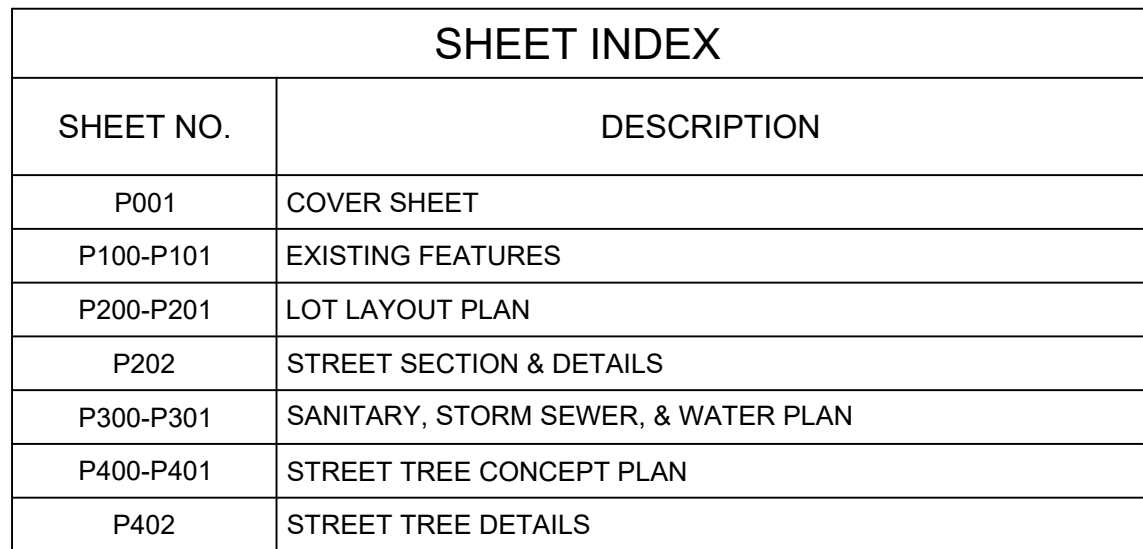
(Date)

4/18/25

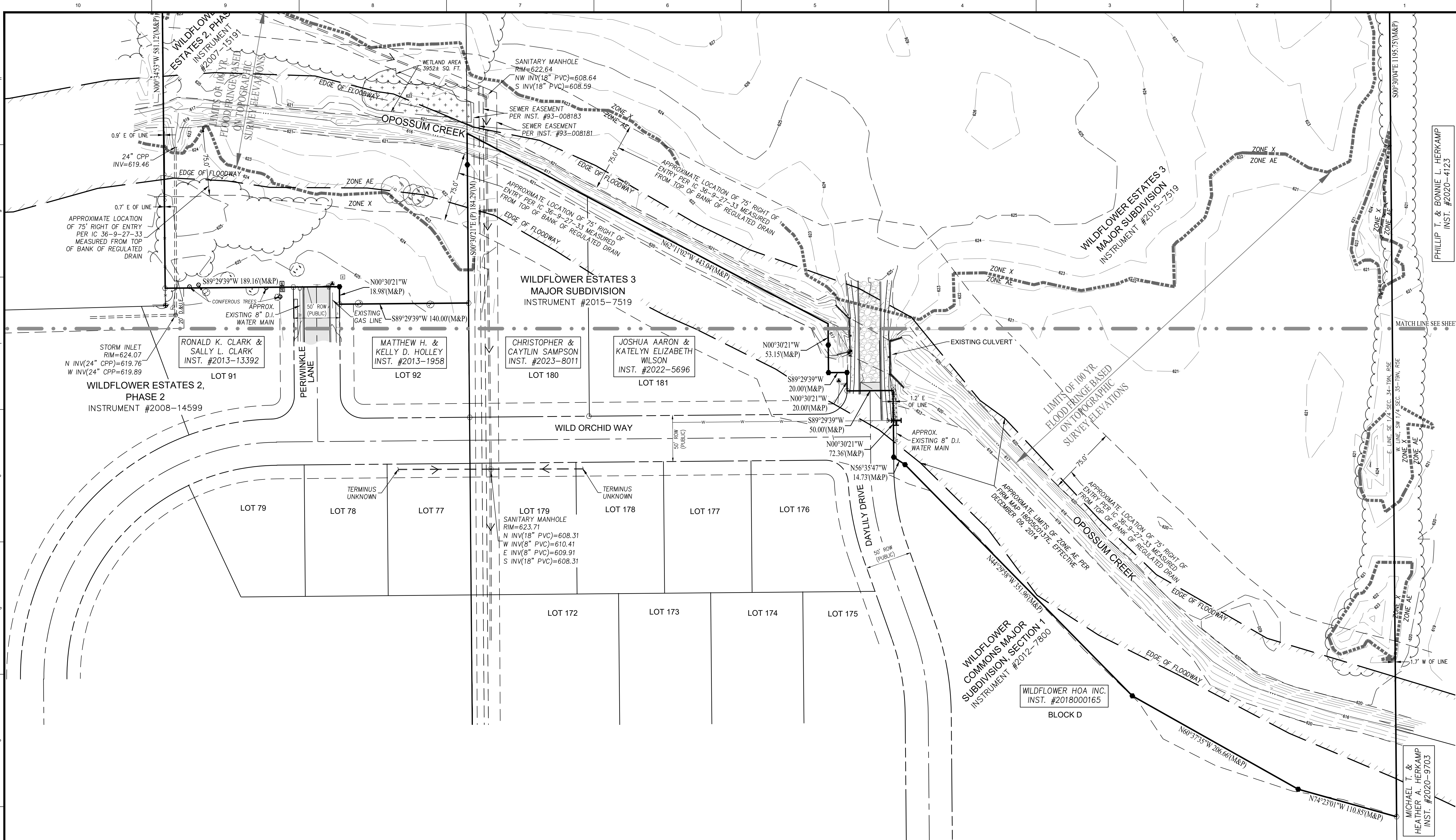
(Property Owner #2 Signature) (Printed Name) (Title, if Needed) (Date)

(Property Owner #3 Signature) (Printed Name) (Title, if Needed) (Date)

(Property Owner #4 Signature) (Printed Name) (Title, if Needed) (Date)

[illegible]

LOCATION: H:\2024\W240948\Engineering\preliminary\preliminary plot\preliminary plot\001 Cover Sheet.dwg
LAYOUT: P001
DATE/TIME: April 28, 2025 - 2:00pm
PLOT BY: [redacted]



LEGEND:

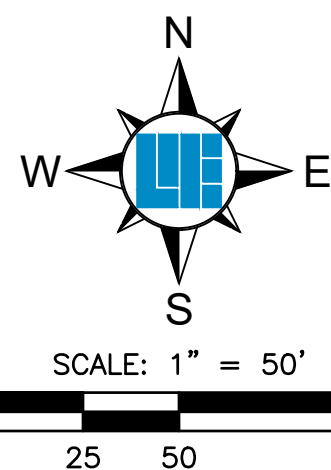
- | | | | | | |
|--|---------------------|--|-------------------------|--|-------------------------|
| | CHAIN LINK FENCE | | REBAR FOUND | | SATELLITE DISH |
| | EDGE OF WOODED AREA | | 8\"/> | | SIGN |
| | FLOW LINE | | PLASTIC CAP | | DECIDUOUS BUSH |
| | FARM FENCE | | WEIHE ENGR. 0012\"/> | | DECIDUOUS TREE |
| | SANITARY SEWER | | OTHER MONUMENT | | CONIFEROUS TREE |
| | STORM SEWER | | STONE FOUND | | MEASURED DIMENSION |
| | SECTION LINE | | FIRE HYDRANT | | PLATTED DIMENSION |
| | RIGHT OF WAY LINE | | WATER VALVE | | POLYVINYL CHLORIDE PIPE |
| | 100 YR FLOODPLAIN | | GAS PIPELINE MARKER | | CORRUGATED PLASTIC PIPE |
| | EASEMENT | | ELECTRIC HAND HOLE | | INVERT |
| | EXISTING CONCRETE | | BEEHIVE INLET | | DUCTILE IRON |
| | EXISTING ASPHALT | | SANITARY SEWER MANHOLE | | CORRUGATED PLASTIC PIPE |
| | EXISTING STONE | | COMMUNICATIONS PEDESTAL | | EXISTING |
| | EXISTING WETLAND | | BASKETBALL GOAL | | EXISTING CONTOUR |
| | | | POST | | |



PLANS PREPARED FOR
SILVERTHORNE HOMES
9225 HARRISON PARK COURT
INDIANAPOLIS, INDIANA 46216
TELEPHONE: (317) 827-6643
CONTACT PERSON: LANTZ MCELROY, P.E.
EMAIL: LANTZM@YOURARBORHOME.COM



PLANS PREPARED BY
WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN C. SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

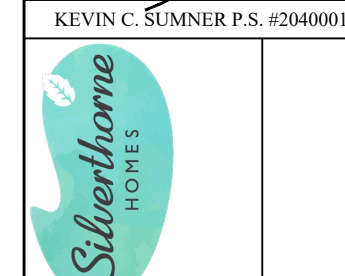
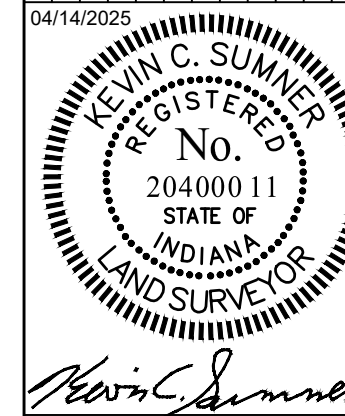


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WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

PREPARED FOR:
WILDFLOWER RIDGE
COLUMBUS, INDIANA 47201
EXISTING FEATURES
Part of the Southeast 1/4 of Section 34, Township 9 North, Range 5 East, Columbus Township, Bartholomew County, Indiana

SHEET NO.
P101
PROJECT NO.
W240948

REVISIONS AND ISSUES	DATE	BY	PROJECT NO.
REVIEWED PER SRC COMMENTS	05/01/2023	GJ	W240948
DESIGNED BY			PROJ. LEADING FEATURES
DRAWN BY			DESIGNED BY
CHECKED BY			DRAWN BY
DATE			CHECKED BY
			DATE



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ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PHILLIP T. & BONNIE L. HERKAMP
INST. #2020-4123

MICHAEL T. &
HEATHER A. HERKAMP
INST. #2020-9703

LOCATION: H:\2024\W240948\Engineering\landscaping\landscaping.plt\0200 Lot Layout Plan.dwg
DATE/TIME: April 28, 2025 - 2:01pm
PLOTED BY: Bep

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C1	10.91'	500.00'	001°15'02"	N01° 07' 52"W	10.91'
C2	10.91'	500.00'	001°15'02"	N01° 07' 52"W	10.91'

LEGEND		VAR.	VARIABLE
21	LOT NUMBER	S.F.	SQUARE FOOTAGE
B-B	BACK OF CURB TO BACK OF CURB	AC	ACRES
B.S.L.	BUILDING SETBACK LINE		*GANG* MAILBOX
D.&U.E.	DRAINAGE & UTILITY EASEMENT		CONCRETE SIDEWALK
D.U.&S.S.E.	DRAINAGE, UTILITY, & SANITARY SEWER EASEMENT		EXISTING WETLANDS
*	ADA RAMP		"DO NOT MOW" SIGN
ROW	RIGHT OF WAY		100-YEAR FLOODPLAIN
	CENTERLINE MONUMENT		GUARDRAIL
			STREET LIGHT

NOTES:

- THE DESIGN AND CONSTRUCTION OF THIS DEVELOPMENT SHALL COMPLY WITH THE CURRENT CITY OF COLUMBUS CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.
- ALL SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED.
- ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 50' UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.
- ALL INTERIOR STREET WIDTHS TO BE 29' FROM BACK OF CURB TO BACK OF CURB, UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.

DESIGN DATA

CURRENT ZONING	RS3
TOTAL ACRES	23.26 AC
TOTAL LOTS	42 LOTS
DENSITY	1.81 LOTS/ACRE
COMMON AREA	11.50 AC
POND AREA (N.P.)	1.55 AC

SUBJECT PARCEL EXISTING ZONING TO REMAIN RS3



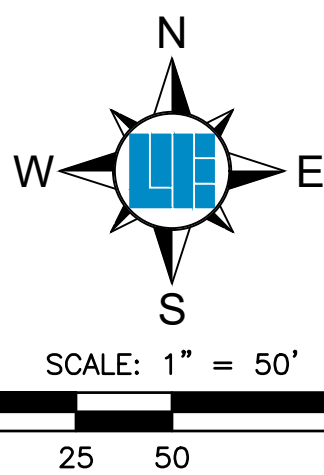
PLANS PREPARED FOR

SILVERTHORNE HOMES
9225 HARRISON PARK COURT
INDIANAPOLIS, INDIANA 46216
TELEPHONE: (317) 827-6643
CONTACT PERSON: LANTZ MCELROY, P.E.
EMAIL: LANTZM@YOURARBORHOME.COM



PLANS PREPARED BY

WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN C. SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

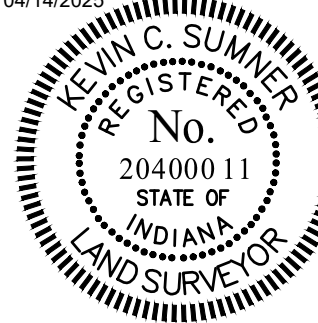


PREPARED FOR:
WILDFLOWER RIDGE
COLUMBUS, INDIANA 47201

SHEET NO.
P200
PROJECT NO.
W240948



KEVIN C. SUMNER, P.S. #20400011



REVISIONS AND ISSUES		DATE	BY	REVISIONS AND COMMENTS
1	ISSUED	04/14/2025	GJ	PER INST. #93-008183

PROJECT NO.	W240948
DWG NAME	P200 Lot Layout Plan
DESIGNED BY	KEVIN C. SUMNER
DRAWN BY	DMD
CHECKED BY	KCS
DATE	04/14/2025

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Landscape Architecture
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weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 /ax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

LOCATION: H:\2024\W240948\Engineering\landscaping\landscaping\p200 Lot Layout Plan.dwg
DATE/TIME: April 28, 2025 - 2:50 pm
PLOTTER: B1: Big

Curve Table					
Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C1	10.91'	500.00'	001°15'02"	N01° 07' 52"W	10.91'
C2	10.91'	500.00'	001°15'02"	N01° 07' 52"W	10.91'

LEGEND		VAR.	VARIABLE
21	LOT NUMBER	S.F.	SQUARE FOOTAGE
B-B	BACK OF CURB TO BACK OF CURB	AC	ACRES
B.S.L.	BUILDING SETBACK LINE	W	*GANG* MAILBOX
D.&U.E.	DRAINAGE & UTILITY EASEMENT	CONCRETE SIDEWALK	
D.U.&S.S.E.	DRAINAGE, UTILITY, & SANITARY SEWER EASEMENT	EXISTING WETLANDS	
*	ADA RAMP	DO NOT MOW* SIGN	
ROW	RIGHT OF WAY	100-YEAR FLOODPLAIN	
●	CENTERLINE MONUMENT	GUARDRAIL	
		STREET LIGHT	

- NOTES:
- THE DESIGN AND CONSTRUCTION OF THIS DEVELOPMENT SHALL COMPLY WITH THE CURRENT CITY OF COLUMBUS CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
 - THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.
 - ALL SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED.
 - ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 50' UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.
 - ALL INTERIOR STREET WIDTHS TO BE 20' FROM BACK OF CURB TO BACK OF CURB, UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.

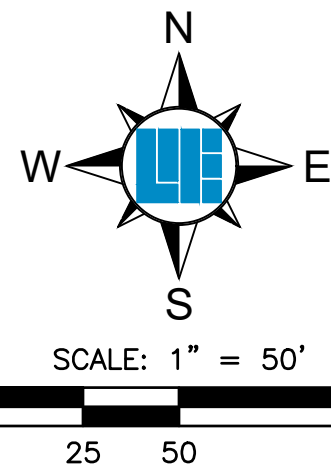
DESIGN DATA	
CURRENT ZONING	RS3
TOTAL ACRES	23.26 AC
TOTAL LOTS	42 LOTS
DENSITY	1.81 LOTS/ACRE
COMMON AREA	11.50 AC
POND AREA (N.P.)	1.55 AC
SUBJECT PARCEL EXISTING ZONING TO REMAIN RS3	



PLANS PREPARED FOR
SILVERTHORNE HOMES
9225 HARRISON PARK COURT
INDIANAPOLIS, INDIANA 46216
TELEPHONE: (317) 827-6643
CONTACT PERSON: LANTZ MCELROY, P.E.
EMAIL: LANTZM@YOURARBORHOME.COM



PLANS PREPARED BY
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INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN C. SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



PREPARED FOR:
WILDFLOWER RIDGE
COLUMBUS, INDIANA 47201
LOT LAYOUT PLAN
SHEET NO.
P201
PROJECT NO.
W240948



REVISIONS AND ISSUES		DATE	BY
1	REVISED PER SRC COMMENTS	05/01/2023	GJ
PROJECT NO: W240948			
DWG NAME: P200 Lot Layout Plan			
DESIGNED BY: JCS			
DRAWN BY: JCS			
CHECKED BY: DMD			
DATE: 04/14/2025			

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317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

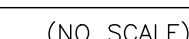
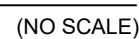


IT MAY BE NECESSARY TO CONSTRUCT A LINER TO SEAL THE MORE PERMEABLE SANDY CLAYS AND SAND SEAMS WHICH MAY BE PRESENT AT A SHALLOW DEPTH WITHIN THE SIDE SLOPE OR BOTTOM OF THE EXCAVATION. THE CONTRACTOR SHALL PERFORM SOILS ANALYSIS TESTS IN THE POND AREAS TO DETERMINE IF THE PONDS WILL REQUIRE A LINER. IN THE EVENT THAT CONSTRUCTION OF A LINER BECOMES NECESSARY, POND LINER SPECIFICATIONS HAVE BEEN INCLUDED BELOW.

ACCEPTABLE LINERS ARE AS FOLLOWS:

ACCEPTABLE LINERS ARE AS FOLLOWS:

1. NATURAL GLAY LINER
- A. LABORATORY TESTING SHALL BE PERFORMED ON THE DESIGNATED LINER MATERIAL TO DETERMINE THE OPTIMUM LINER COMPACTION CRITERIA. PERMEABILITY TESTING SHALL BE PERFORMED ON REMODELED SAMPLES, COMPACTED TO THE STANDARD. LABORATORY TESTING SHALL BE PERFORMED AT LEAST ONE (1) MONTH PRIOR TO INITIATING LINER ACTIVITIES.
- B. THE CONTRACTOR SHALL IDENTIFY AND RETAIN THE ENGINEER-APPROVED LINER MATERIAL FOR USE ON SEALING THE SIDE SLOPES AND BOTTOM OF THE POND. THE OPTIMUM NATURAL LINER MATERIAL SHALL NOT BE USED FOR OTHER PORTIONS OF SITE WORK PRIOR TO VERIFICATION THAT ADEQUATE RESOURCES ARE AVAILABLE AND HAVE BEEN STOCKPILED. IT IS IMPORTANT THAT THE STOCKPILED SOILS BE STORED IN AN SMALL AREA AS POSSIBLE TO RETAIN NATURAL MOISTURE. THE CONTRACTOR SHOULD ANTICIPATE THAT ADDITIONAL SOIL WORK MAY BE REQUIRED TO BRING THE LINER MATERIAL TO REQUIRED UNIFORM MOISTURE LEVEL.
- C. A REPRESENTATIVE OF THE TESTING ENGINEER SHALL BE PRESENT FOR INSPECTION OF THE BASE AND SIDE SLOPES OF THE POND PRIOR TO AND DURING COMPACTION OF THE LINER MATERIALS.
- D. THE CLAY LINING MATERIAL APPROVED BY THE TESTING ENGINEER SHALL BE COMPACTED TO A MINIMUM OF 12 INCHES THICK ON THE UPPER TWO THIRDS OF THE SIDE SLOPES AND 18 INCHES ON THE LOWER ONE THIRD. A COMPACTED MINIMUM OF 10 TO 12 INCHES APPROVED LINER MATERIAL SHALL BE PLACED ACROSS THE BASE OF THE POND.
- E. THE CLAY LINING MATERIAL SHALL BE REGULARLY SAMPLED AND TESTED FOR CONFORMANCE TO THE MOISTURE AND ATTERBURG LIMITS ESTABLISHED FOR THE APPROVED LINER MATERIALS. FIELD DENSITY AND MOISTURE TESTING SHALL BE PERFORMED QUANTITATIVELY DURING CONSTRUCTION TO ESTABLISH A CORRELATION TABLE FOR THE APPROVED LINER MATERIALS. IT IS IMPERATIVE THAT MOISTURE LEVELS BE MAINTAINED OVER OPTIMUM AS DETERMINED IN LABORATORY TESTING. ONLY BY MAINTAINING THIS CONDITION WILL IT BE POSSIBLE TO APPROACH THE ZERO VOIDZ CONDITION AND MAXIMIZE NATURAL LINER CAPABILITIES. OFF-SITE SOURCES FOR CLAY LINER MATERIAL MAY BE USED TO MAINTAIN THE OPTIMUM MOISTURE AND DENSITY.
- F. COMPACTION OF THE NATURAL LINER SHALL BE PERFORMED BY EQUIPMENT OPERATING UP AND DOWN THE SLOPE. ENGINEERED NATURAL CLAY LINERS SHALL NOT BE COMPACTED BY EQUIPMENT OPERATING AROUND THE SLOPES OR NEAR THE SAME ELEVATION. IT IS IMPORTANT THAT HYDRATION OF THE GLAY LINERS TAKES PLACE AFTER INSTALLATION IS COMPLETE. THIS IS TYPICALLY ACCOMPLISHED BY NATURAL RAINFALL OR BY APPLICATION OF FRESH WATER AT THE RATE OF ONE QUARTER GALLON PER SQUARE FOOT FOR AT LEAST 72 HOURS. THIS RECOMMENDED RATE OF HYDRATION WILL HELP PREVENT SHRINKAGE AND CRACKING OF THE CLAY LINER AND MAINTAIN ITS INTEGRITY.
2. BENTONITE
- A. MATERIALS AND INSTALLATION METHOD TO BE REVIEWED BY THE TESTING ENGINEER AND APPROVED BY THE ENGINEER.
3. SYNTHETIC LINER
- A. MATERIALS AND INSTALLATION METHOD TO BE REVIEWED BY THE TESTING ENGINEER AND APPROVED BY THE ENGINEER.



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2. THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.
3. ALL SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED.
4. ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 50' UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.
5. ALL INTERIOR STREET WIDTHS TO BE 28' FROM BACK OF CURB TO BACK OF CURB, UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.

SUBJECT PARCEL EXISTING ZONING TO REMAIN RS3

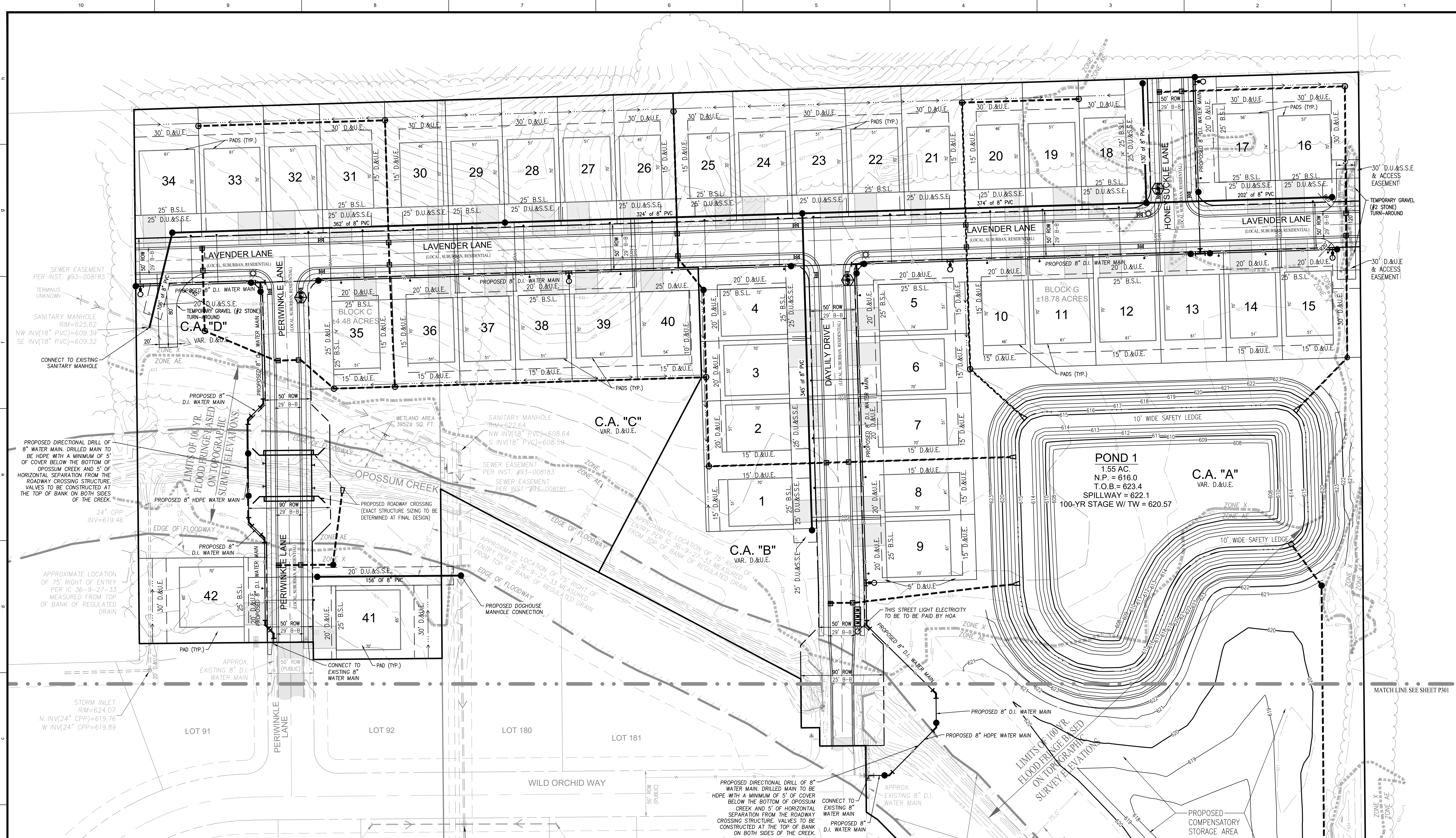


PLANS PREPARED BY
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CONTACT PERSON: KEVIN C. SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



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PER INDIANA STATE LAW IC 8-1-26,
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LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.



LEGEND

PROPOSED STORM

PROPOSED SANITARY MAIN, LATERAL

PROPOSED WATER MAIN, LATERAL, METER

PROPOSED SWALE

PROPOSED WATER VALVE

PROPOSED FIRE HYDRANT

PROPOSED SANITARY MANHOLE

PROPOSED YARD INLET, CURB INLET

LOT NUMBER

B-B BACK OF CURB TO BACK OF CURB

B.S.L. BUILDING SETBACK LINE

D.&U.E. DRAINAGE & UTILITY EASEMENT

D.U.&S.S.E. DRAINAGE, UTILITY, & SANITARY SEWER EASEMENT

ADA RAMP

VARIABLE

STOP SIGN WITH STREET SIGN

ROW RIGHT OF WAY

R RADIUS

EXISTING CONTOUR

EXISTING WATER

EXISTING STORM

EXISTING SANITARY

EXISTING SANITARY MANHOLE

EXISTING TREE LINE

EXISTING GAS

CONCRETE SIDEWALK

CONCRETE DRIVE

EXISTING WETLANDS

"GANG" MAILBOX

STREET LIGHT

100-YEAR FLOODPLAIN

GUARDRAIL

- NOTES:**
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DESIGN DATA	
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COMMON AREA	11.50 AC
POND AREA (N.P.)	1.55 AC

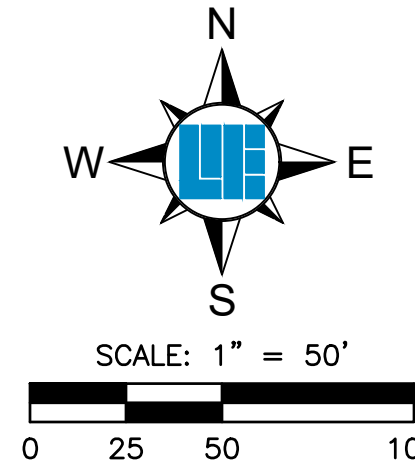
SUBJECT PARCEL EXISTING ZONING TO REMAIN RS3



PLANS PREPARED FOR
SILVERTHORNE HOMES
9225 HARRISON PARK COURT
INDIANAPOLIS, INDIANA 46216
TELEPHONE: (317) 827-6643
CONTACT PERSON: LANTZ MCELROY, P.E.
EMAIL: LANTZM@YOURARBORHOME.COM



PLANS PREPARED BY
WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN C. SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET



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NOTIFYING THE UNDERGROUND
UTILITY SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

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PROJECT NO.: W240948
DWG NAME: P300 Utility Plan
DESIGNED BY: JRP
DRAWN BY: JRP
CHECKED BY: KCS
DATE: 04/14/2025

REVISIONS AND ISSUES
DATE BY COMMENTS
05/01/2025 JRP
04/14/2025 JRP

REGISTERED PROFESSIONAL
No. 20400011
STATE OF INDIANA
LAND SURVEYOR
Kevin C. Sumner
KEVIN C. SUMNER P.S. #20400011

Silverthorne HOMES

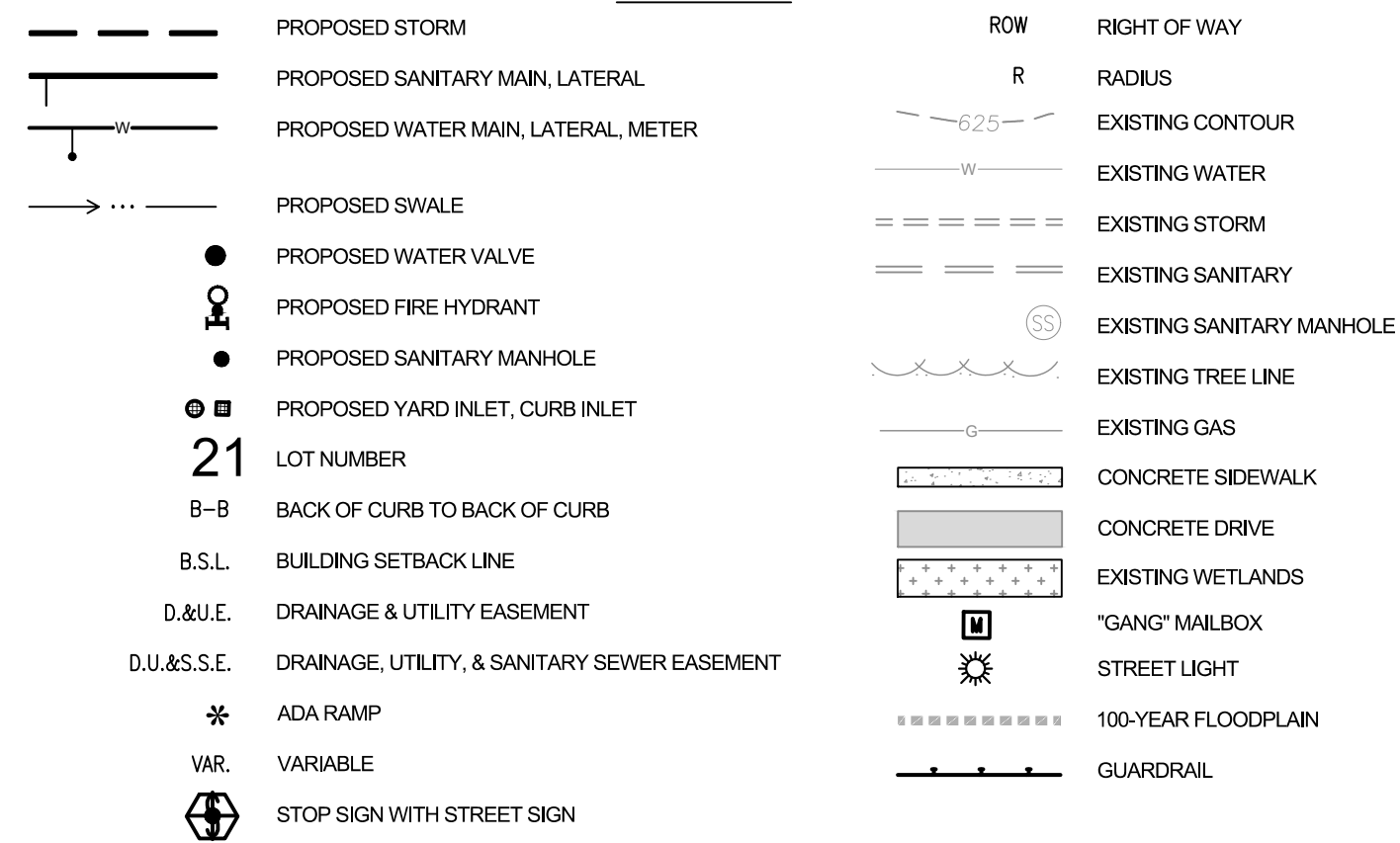
PREPARED FOR:
WILDFLOWER RIDGE
COLUMBUS, INDIANA 47201

SANITARY, STORM SEWER, & WATER PLAN
Part of the Southeast 14 of Section 34, Township 9 North, Range 5 East, Columbus Township, Bartholomew County, Indiana

SHEET NO.:
P300

PROJECT NO.:
W240948

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

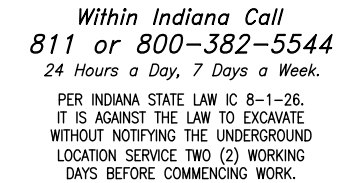
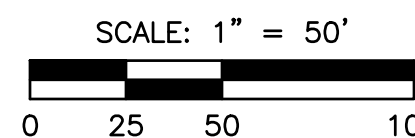


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POND AREA (N.P.)	1.55 AC

PLANS PREPARED FOR
SILVERTHORNE HOMES
 9225 HARRISON PARK COURT
 INDIANAPOLIS, INDIANA 46216
 TELEPHONE: (317) 827-6643
 CONTACT PERSON: LANTZ MCELROY, P.E.
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 INDIANAPOLIS, INDIANA 46280
 TELEPHONE: (317) 846-6611
 CONTACT PERSON: KEVIN C. SUMNER, P.S.
 EMAIL: SUMNERK@WEIHE.NET



SHEET NO.
P301
PROJECT NO.
W240948

REVISIONS AND ISSUES	DATE	BY	PROJECT NO.
	05/14/2025		VZ00048
Δ REVISED PER SRC COMMENTS			DWG NAME
			P300 Utility Plan
			DESIGNED BY
			CDL
			DRAWN BY
			DMD
			CHECKED BY
			KCS
			DATE
			06/14/2025



SANITARY, STORM SEWER, & WATER PLAN

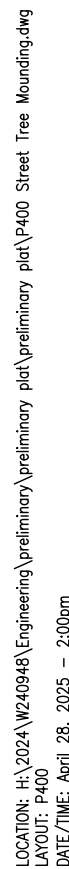
10505 N. College Avenue
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weithe.net

317 | 846 - 6611
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317 | 843 - 0546_{fax}

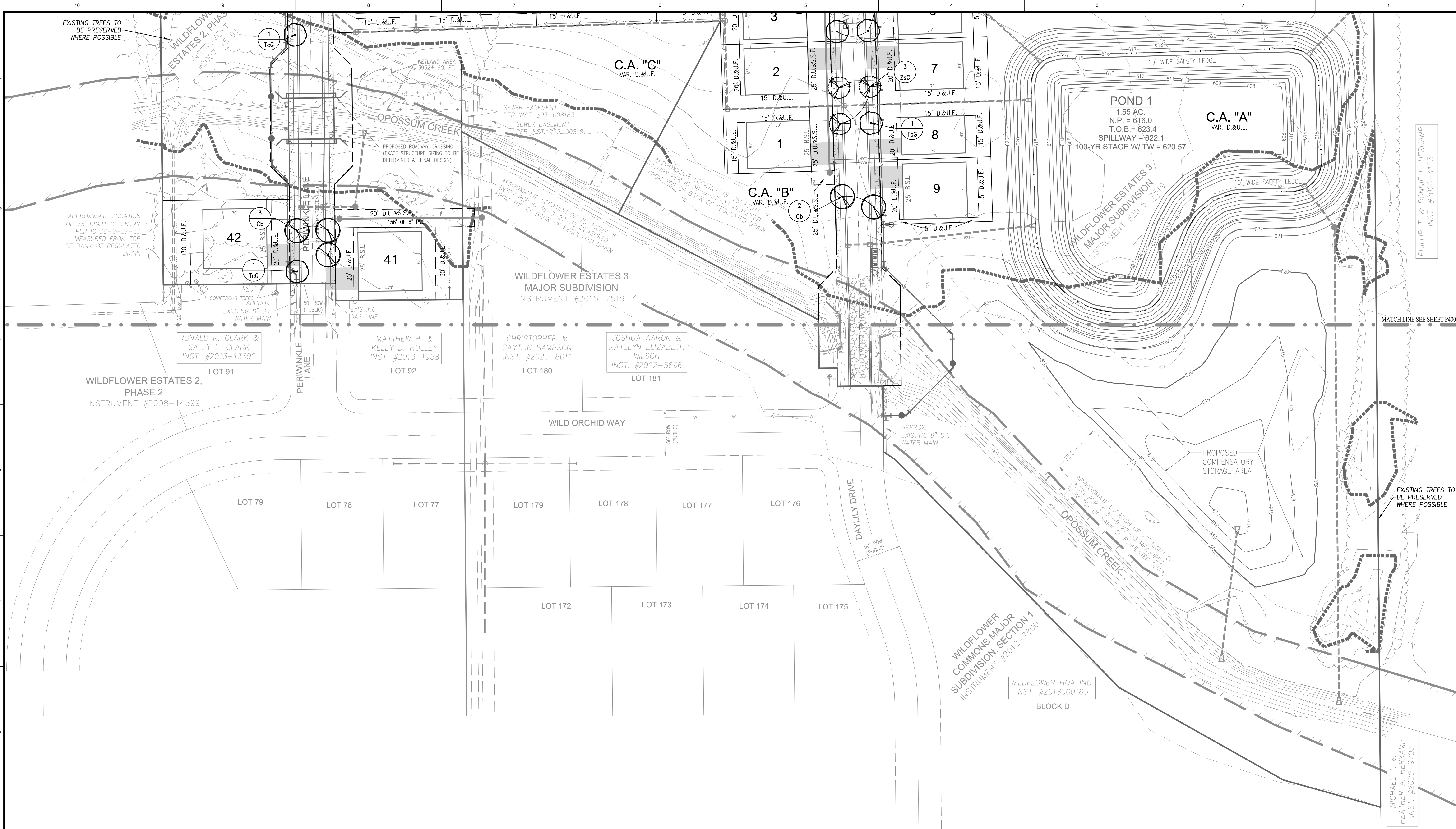
ALLAN H. WEIHE, P.E., I.S. - FOUNDER

LEI WEIHE
ENGINEERS
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ALLAN H. WEIHE, P.E., L.S. - FOUNDER



LOCATION: H:\2024\W240948\Engineering\landscaping\landscaping\p400\Sheet Tree Mounding.dwg
DATE/TIME: April 28, 2025 - 2:59pm
PLOTED BY: Reg



LEGEND

PROPOSED STORM

PROPOSED SANITARY MAIN, LATERAL

PROPOSED WATER MAIN, LATERAL, METER

PROPOSED SWALE

GUARDRAIL

100-YEAR FLOODPLAIN

PROPOSED WATER VALVE

PROPOSED FIRE HYDRANT

PROPOSED SANITARY MANHOLE

PROPOSED YARD INLET, CURB INLET

LOT NUMBER

B.S.L. BUILDING SETBACK LINE

D.&U.E. DRAINAGE & UTILITY EASEMENT

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EXISTING SANITARY

EXISTING SANITARY MANHOLE

EXISTING TREE LINE

EXISTING GAS

CONCRETE SIDEWALK

CONCRETE DRIVE

EXISTING WETLANDS

GANG MAILBOX

* ADA RAMP

STREET LIGHT

EXISTING DECIDUOUS TREE

EXISTING CONIFEROUS TREE

SIGHT DISTANCE TRIANGLE

- NOTES:**
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 - ALL INTERIOR STREET WIDTHS TO BE 29' FROM BACK OF CURB TO BACK OF CURB, UNLESS OTHERWISE NOTED. SEE SHEET P202 FOR ADDITIONAL CROSS SECTIONS.
 - SEE SHEET P402 FOR STREET TREE ORDINANCE REQUIREMENTS AND PLANT SCHEDULES.

DESIGN DATA	
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TOTAL ACRES	23.26 AC
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SUBJECT PARCEL EXISTING ZONING TO REMAIN RS3

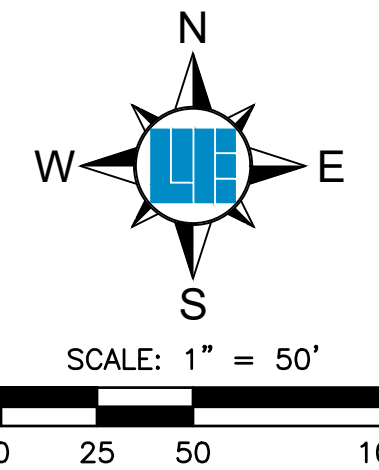


PLANS PREPARED FOR
SILVERTHORNE HOMES
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TELEPHONE: (317) 827-6643
CONTACT PERSON: LANTZ MCELROY, P.E.
EMAIL: LANTZM@YOURARBORHOME.COM



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INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: KEVIN C. SUMNER, P.S.
EMAIL: SUMNERK@WEIHE.NET

-NOTE-
STREET TREES SHOWN AT CONCEPTUAL LOCATIONS AND TO BE FINALIZED AT FINAL CONSTRUCTION PLANS STAGE.



REVISIONS AND ISSUES

DATE	BY	REVISIONS
05/01/2023	GJ	REVISED PER SRC COMMENTS

PROJECT NO: W240948
DWG NAME: P400 Street Tree Mounding
DESIGNED BY: [blank]
DRAWN BY: DMD
CHECKED BY: KCS
DATE: 04/14/2025

KEVIN C. SUMNER
REGISTERED
No. 20400011
STATE OF INDIANA
LAND SURVEYOR

KEVIN C. SUMNER P.S. #20400011

Silverthorne
HOMES

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317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PREPARED FOR:
WILDFLOWER RIDGE
COLUMBUS, INDIANA 47201
STREET TREE CONCEPT PLAN
Part of the Southeast 1/4 of Section 34, Township 9 North, Range 5 East, Columbus Township, Bartholomew County, Indiana

SHEET NO.
P401
PROJECT NO.
W240948



PLANT SCHEDULE - STREET TREES								
PLAN KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	ROOT B & B	CONDITION	CENTER SPACING	SPECIAL INSTRUCTIONS
Cb	CARPINUS BETULUS	EUROPEAN HORNBEAM	2 1/2"	17	X		SEE PLAN	X
TcG	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2"	16	X		SEE PLAN	X
ZsG	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2"	16	X		SEE PLAN	X



- | DESIGN DATA | |
|------------------|----------------|
| CURRENT ZONING | RS3 |
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| COMMON AREA | 11.50 AC |
| POND AREA (N.P.) | 1.55 AC |



Silverthorne
HOMES



PREPARED FOR:
WILDFLOWER RIDGE
COLUMBUS, INDIANA 47201

STREET TREE DETAILS



PREPARED FOR:

WILDFLOWER RIDGE

COLUMBUS, INDIANA 47201

STREET TREE DETAILS

Part of the Southeast 1/4 of Section 34, Township 9 North, Range 5 East, Columbus Township, Bartholomew County, Indiana

SHEET NO.
P402
PROJECT NO.
W240948